



HERITAGE DESIGN MANUAL

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Chapter credits:

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- Text for *Planning and design element* sections is after Part H of Willoughby DCP 2006; edited excerpts.
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SUBDIVISION APPLICATIONS

Objectives

- To retain the development and subdivision pattern of conservation areas including their characteristic rhythm and spacings of built form;
- To retain significant curtilages, views and vistas and landscape elements associated with individual heritage items; and
- To retain the original subdivision pattern in conservation areas.

Requirements

Subdivision of land must comply with the minimum allotment size requirements of the LEP and with this heritage design chapter. Subdivision applications for land either in the vicinity of, or on which heritage items are situated, or in conservation areas are required to be accompanied by adequate plans, showing the building envelopes, siting and setbacks of the proposed buildings, that must demonstrate to Council's satisfaction that:

- The allotment and building spacing, i.e., frontage widths, side and front boundary setbacks, are typical;
- The rhythm of buildings in the streetscape of conservation areas is retained;
- Vistas and views to and of heritage items and significant buildings, especially the principal elevations of buildings, are not interrupted or obscured;
- the landscape quality of the streetscape in conservation areas is retained;
- The setting of the heritage item and a satisfactory curtilage, including important landscape and garden elements, are retained;
- The scale and form of proposed new construction or buildings is compatible with the dominant heritage elements;
- The essential qualities of the streetscape and building style, on which the locality's heritage depends, are preserved in the new development. Where new or more recent development in the vicinity of the proposal varies older development standards and the essential heritage characteristics of a locality, the proposal is to ignore these recently introduced characteristics, e.g. two storeys in an otherwise single storey locality, in favour of using the prevailing predominantly original development as a guide to desired character for further development;
- The subdivision will not require demolition that would adversely affect the streetscape; and
- The contours and natural features of the site have been retained.

CORNER ALLOTMENTS

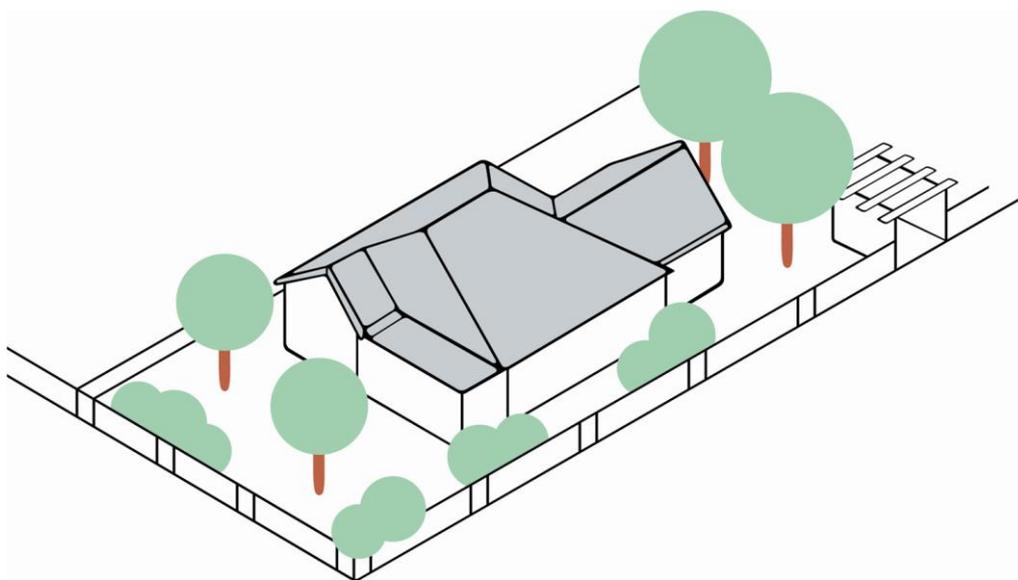
The corner block has more significance in defining the character of the area because it is visible from two streets and it is an important component in distant vistas. Therefore, additional specific guidelines are required.

Objective

- To ensure that the characteristics of the conservation area or heritage item are considered from both streets.

Requirements

- Significant parts of the original building must be retained, including main frontage and side frontage. Rear additions generally do not require retention;
- The scale of additions and alterations must respect the existing ridge or eaves heights;
- Where additions are attached, detailing including finishes and materials must be appropriate to the original;
- Where additions are detached or commercial development is proposed, contemporary solutions must respect the scale, bulk and detailing of the original without poor mimicry;
- Car parking must be located to the rear of the secondary street frontage. Double garages forward of the building line are not acceptable;
- Fencing to the secondary street frontage must not exceed 1800mm in height;
- Landscaping is required to both street boundaries, and a landscaping concept plan is required with the submission of a development application; and
- New development must be located to minimise impact on existing prominent trees.



Both street fronting elevations must be considered on corner blocks.

MULTI-UNIT DEVELOPMENT / VILLAS

Objective

- To ensure that multi-unit residential development will be consistent with the existing density, form, scale, architectural and streetscape character of the conservation area and/or heritage item.

Requirements:

- Building bulk is to be minimised. Well-known architectural devices are constructing in single storey; separating out garages under a different roof; following natural ground levels where possible to avoid abrupt changes of level; and separating large floor areas into separately roofed areas.
- The first (or leading) villa unit in a group is to face the primary street frontage and its design must be consistent with the best historical examples in the adjoining streetscape.
- Adequate visual and sound privacy between units achieved by brick party walls between semi-detached units and by having windows that do not face each other.

Frequent omissions from multi-unit proposals include:

- Providing a detailed landscape plan with suitable fence types, species, pot sizes, paving colours etc.
 - Keeping to single storey.
 - Following existing ground contours.
 - Utilising vertically proportioned traditional window types instead of 1980s style aluminium hopper windows.
 - Utilising steep pitched roofs.
 - Addressing the heritage streetscape.
 - Garaging under separate roofs.
 - Utilising real galvanised roofs rather than Colorbond.
 - Detailing garage doors appropriately.
 - Using verandahs of traditional form and dimensions.
 - Toning down wall finishes by use of rendered surfaces instead of face brickwork.
 - Utilising real timber weatherboard instead of imitation weatherboards.
-
- Contemporary kit/project designs that purport to be “heritage homes” are generally poorly integrated mixtures of design elements from different eras and do not fulfil the objectives for heritage development in conservation areas or adjacent to heritage items.

COMMERCIAL DEVELOPMENT

Objectives

- To ensure that commercial development achieves a sympathetic relationship with the conservation area of which it is a part in terms of its scale, massing, character, setback, orientation, materials and detailing; and
- To ensure that commercial development respects the established streetscape, and the patterns of development, including setbacks, siting, landscape settings, car parking, height, dominant ridge line and building envelope by displaying architectural “good manners” and respecting the significant characteristics of nearby and adjoining development.

Requirements

- Commercial can be contemporary in design however, the scale, form and detail must not detract from the scale, form, unity, cohesion and predominant character of buildings and development (i.e. streetscape/landscape elements) around it;
- Commercial development in the vicinity of a heritage item must respect the visual curtilage of that item;
- Commercial development must not visually dominate, compete with or be incompatible with the scale (size, height and bulk) of existing buildings either on the site or in the vicinity of the proposal;
- Commercial development must be sited to correspond with the existing pattern of relationships between buildings and their sites. Front boundary setbacks are to be equivalent to those of neighbouring buildings. Side setbacks must be consistent with existing patterns;
- Commercial design is to be integrated into the established character of the area and, in particular, of heritage buildings, incorporating basic design elements such as the characteristic roof form and massing of the original development, proportions of windows, doors and verandahs;
- Commercial design must not visually dominate, compete with or be incompatible with the form of existing buildings of heritage significance, either on the site or in the vicinity of heritage items;
- New development must be in moderate conformity (repeat the scale, roof pitch, materials, colours and architectural treatments without poor mimicry) with the best examples of historic buildings in the locality;

ADAPTIVE REUSE

Where a building can no longer function with its original use, a new use through adaptation may be the only way to preserve its heritage significance. Under the heritage incentive clause in the LEP, Council must consider a proposal, even for prohibited development, if the development ensures the protection and care of a heritage item. Council may consider proposals for adaptive reuse if it considers that impact on a building’s heritage values is minimised.

Objectives

- To avoid facadism i.e. to avoid gutting the building and retaining only façade;
- To ensure that new work is not a poor imitation of the original historical style of the building;
- To propose a new use for the building that is compatible with its original use.

DEMOLITION APPLICATIONS

Objectives

- To retain original buildings that preserve the historical integrity of conservation areas and heritage items.

Mandatory Requirements:

- Except where a building presents an immediate threat to public safety, the total demolition of a building shall not be permitted unless an application for a replacement building within a garden setting is approved. Where a development proposal is not an improvement over the original building, then there are no grounds for replacing the original building.
- Where in the opinion of the Council, neglect of a building has contributed to the building becoming structurally unsound so as to necessitate total demolition, redevelopment of the site shall not exceed the gross floor area of the building. Additions to a replacement building shall not be permitted within 3 years of completion of the replacement building.
- The partial demolition of original external building fabric of buildings shall only be permitted in the context of permitted alteration or additions.
- Demolition of a building may be carried out no earlier than 6 weeks prior to the commencement of construction of an approved replacement building.
- Alteration to, or demolition of, internal building fabric of buildings may be permitted provided the external building fabric of the building is not adversely affected.

Total demolition of existing pre-1950 buildings shall not be permitted unless:

- The building is so structurally unsound as to be beyond reasonable economic repair. The application must include a professional structural assessment in support of demolition; or
- The existing condition poses a significant health or safety risk that is beyond reasonable economic repair. The application must include a professional structural or health assessment in support of demolition; or
- In the opinion of Council, the integrity of the built form and street elevations of an original building has been extensively and irreversibly diminished by unsympathetic alterations and additions **AND** any replacement development conforms to this plan.

SHOPPING MALLS & TILT-SLAB STRUCTURES.

Commercial buildings should be in moderate conformity with historic buildings in the heritage conservation area. Detailing of windows, doors, clock towers, parapets etc. should be to maximise the three dimensional effect.

Objectives

- To respect how towns were traditionally developed with individual shopfronts by staggering the façade and dividing it into separate shopfronts;
- To provide a continuous pattern of individual shopfronts and awnings along streets;
- To break up visually long facades using vertical elements reminiscent of separate shop fronts;
- To avoid buildings appearing as a stage set with thin parapet tilt-slabs appearing against the skyline;
- To avoid tilt-slabs with minimal (or flat) moulding;
- To avoid opaque or blind windows, especially those unlit at night;
- To avoid blank window panels used as advertising spaces; and
- To rationalise the height and size of advertising panels so that they would not overwhelm the streetscape.

Avoid flat or blank facades.

Oblique views across tilt-slab parapet panels can often reveal open sky and limited tilt-slab thickness (about 100mm). This can lead to commercial buildings resembling a stage set, where the buildings only have flat fronts, propped from behind.

A common feature of tilt-slab is large flat walls, with minimal modelling. Attempts to disguise this flatness with stick-on mouldings can be unconvincing. Seeing concrete joints that have been painted over only emphasises this “flatness”.

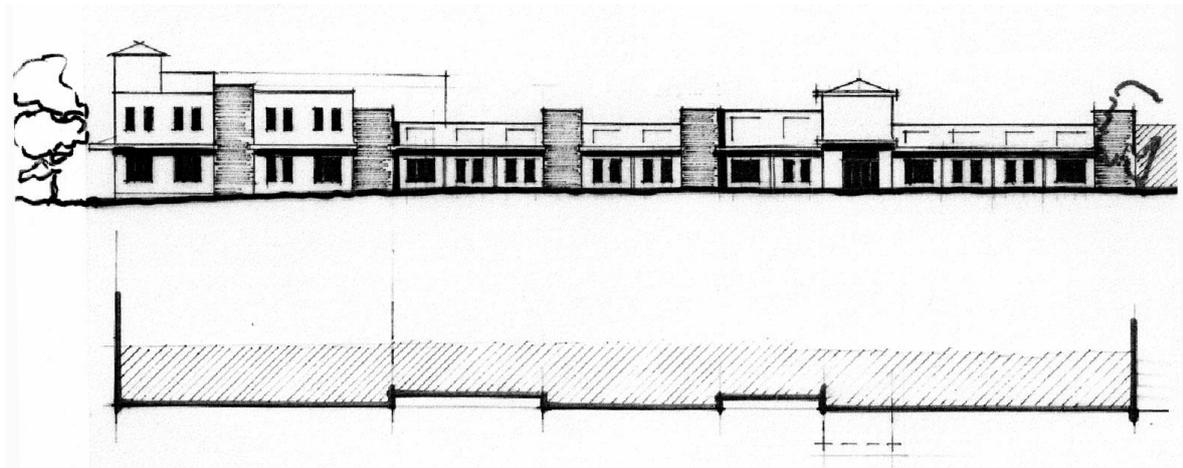
The tilt-slab product can stand a few penetrations, but obviously does not lend itself to a lot of three dimensional modelling or large window openings. Sadly, this coincides very neatly with the shopping mall tendency to be a concrete box of blank exterior with a hole in the wall for customers. This is a problem, because it tends to produce a dead street frontage, with a lot of opaqueness or “blindness”: blind windows, blind doors, blind parapet panels. Even where windows are included in tilt-slab shopping malls, they tend to get painted out or blanked out with advertising, because window walls get converted to storage walls.

Plan for street frontage depth and scale.

Some flatness can be reduced by staggering parts of the façade, and dividing it with vertical elements that have separate finish to the rest of the frontage. This breaks up the façade into separate shopfronts. These divisions should be based on the existing shop subdivision pattern in the conservation area. Architectural style should be dignified, restrained and respectful of the traditional buildings in the conservation area. Conservation areas are not places for loud statements, but for careful and consistent detailing.

Height may be increased at landmark corners but should be in scale with historical examples. Windows should be in similar vertical proportions as historical examples. Expressed mouldings around windows will improve impression of depth. Areas of face brick or stonework will relieve the monotony of flat areas of tilt-slab. Parapet returns should have flanking walls; so that parapets do not appear thin (this is a Federation period architectural device).

Provide depth to shopfront window reveals and entrances by recessing shop doors. Provide brick detail to break up massing and assist visually, e.g. string course to shop parapets and wall facing to shopfront sill height (approx 450mm above footpath). Accentuate façade divisions with a pattern of vertical walls, clad in a different material (such as brick or stone). Provide a continuous pattern of individual shopfronts and awnings along streets, rather than interrupting shopfronts with driveway entrances into the mall.



Stagger the façade and divide into separate shopfronts. Accentuate façade divisions with a pattern of vertical walls, clad in a different material (such as brick or stone).

Plan for active windows to the street.

Site and floor planning of shopping malls should be adjusted to eliminate a blind façade of useless windows (that will be painted out etc), by including a line of shops along the street frontage. They do not need to be large shops, but need to have good window area and views onto the street. This is the only “fix” for a dead blank façade.

Provide the consent authority with enough detail at pre-lodgement.

Heritage related development applications need detailed annotation of the elevations. These should show all proposed materials, finishes, profiles and colours. This exceeds what might often be lodged for other commercial development applications. Signage details, with a graphic mock up by a sign-writer should form part of the submission.

SHOPFRONTS

Objective

- To ensure that original elements are retained and where new elements occur, that the character and patterns of shopfronts and their construction is clearly related to the proportions, placement and scale of shopfronts of the existing heritage fabric.

Requirements

- Retain and repair/restore original shopfronts. Authentic reconstruction is encouraged. Original timber and metal shopfront framing must be retained;
- New shopfronts are to be compatible with the proportions, position, size and detailing of the best historical examples of original shopfronts.
- Encourage recessed doorways so that hinged doors can open outwards.



Shopfront examples. - Style elements include retention of original details such as ceramic tiles, symmetrical layout, ornamental timber joinery, decorative signage on glazing, retention of original shopfront framing (or replacement with timber frame to match historical examples).

SIGNS

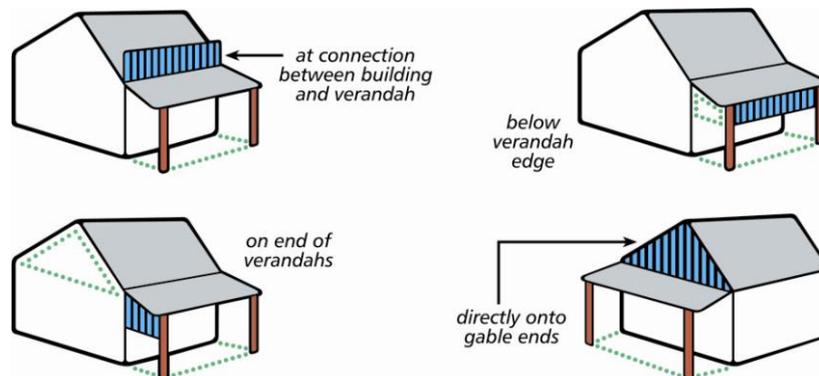
Objective

- To ensure that signs do not compete with architectural features of the building nor dominate the streetscape.

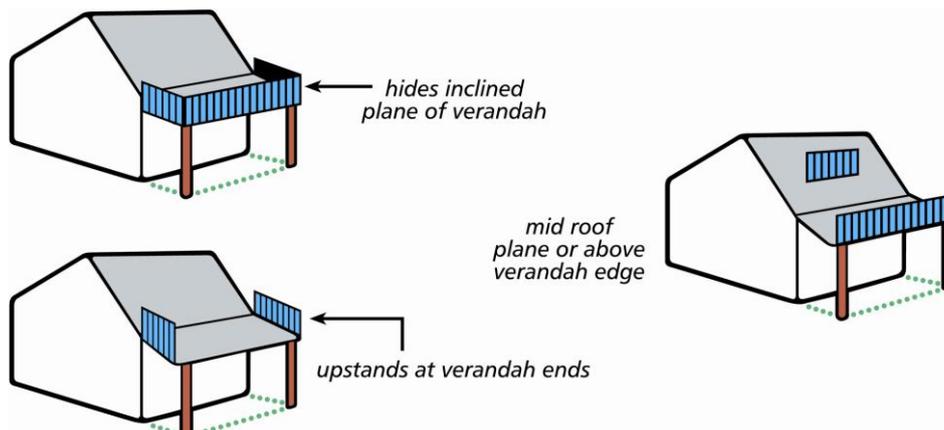
Requirements

- Commercial advertising banners and placards are prohibited;
- Business signs must be designed to complement the visual quality of the building or conservation area streetscape;
- Signs must not have an adverse impact on the heritage character of buildings or conservation area;
- Business signs on fascias of verandah beams or awnings must be no larger than the fascia.
- Signs should be of colour and lettering appropriate to the period style of the building; and
- Subdued colours should be used and signs should be spot lit instead of self-illuminating;

ACCEPTABLE:



UNACCEPTABLE:

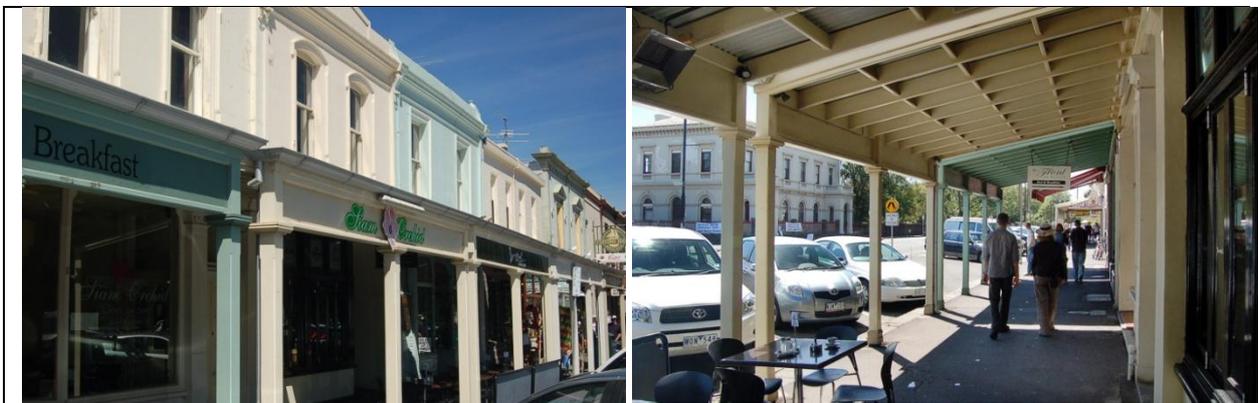




Sign panel below verandah edge and on shopfront glazing.



Commercial sign examples



Example of sympathetically designed shop verandahs and signs

COLOURS

Objective

- To ensure that external colours provide consistency and harmony in conservation areas and for heritage items.

Requirements subject to the discretion of council

- New development should reflect surrounding buildings in the selection of external materials and finishes. Roof materials and wall surfaces are particularly critical .
- External painting in colours that complies with the heritage colour palette below should not require a development application, provided that Council is notified of the proposal and considers that the scheme does not reduce heritage values. Other colour proposals may require a referral to the Council Heritage Adviser.

Note:
Crems to be used for walls.

Dark colours for timber joinery only.

Close equivalents from other manufacturer's colour ranges may be considered.

French Grey was an interior colour only.

Art Deco requires a different historical colour palette.

Colours are required to be specified by manufacturer (e.g. Haymes, Dulux) and colour name (e.g. Buff). Colours can be matched by other manufacturers.

This advice is not an endorsement of any one paint manufacturer.



DESIGN ELEMENTS

Council will not consent to the alteration, extension or erection of a building or other works which alter the existing improvements on land that is either listed as a heritage item or is located within a conservation area without considering its design elements (i.e. setting; scale; proportion, façade, doors windows, detailing and colours).

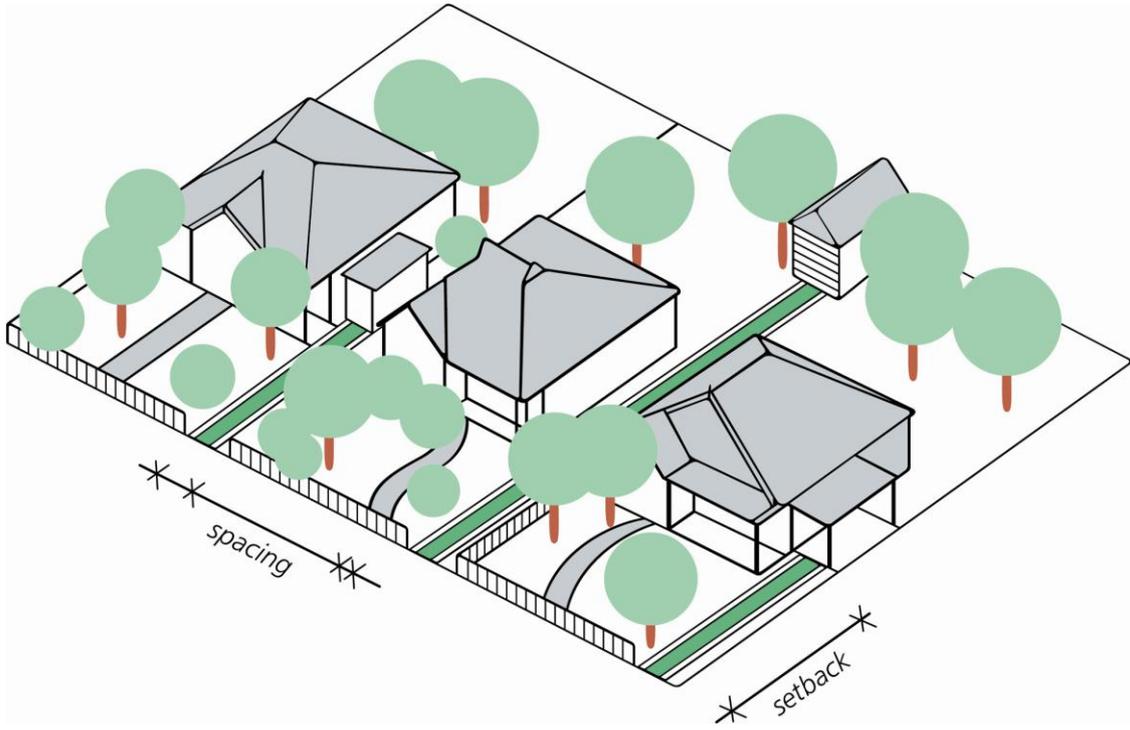
SETTING

Objectives

- To provide an appropriate visual setting for heritage items and buildings within conservation areas, including landscaping, fencing and car parking;
- To maintain and enhance the existing heritage character of the streetscape and the vicinity;
- To ensure that new development respects the established patterns in the streetscape, including setbacks, siting, landscaped settings, car parking and fencing.

Requirements

- New developments must respect established patterns of setbacks, spacing of dwellings, landscape character, car parking and fencing.
- The side and front setbacks are to be typical of the spacing of buildings both from each other and from the street in the particular locality, such that the rhythm of buildings in the streetscape is retained;
- No new structures are to be built forward of the established street building line;
- Retain an adequate curtilage, including landscaping, fencing and any significant trees;
- The established landscape character of the locality including height of canopy and density of boundary landscape plantings must be retained in any new development;
- Development in the vicinity of a heritage item must respect the visual curtilage of that item;
- New developments must respect the existing character of the streetscape.



Respect established patterns of setbacks, spacing of dwellings, landscape character, parking and fencing.

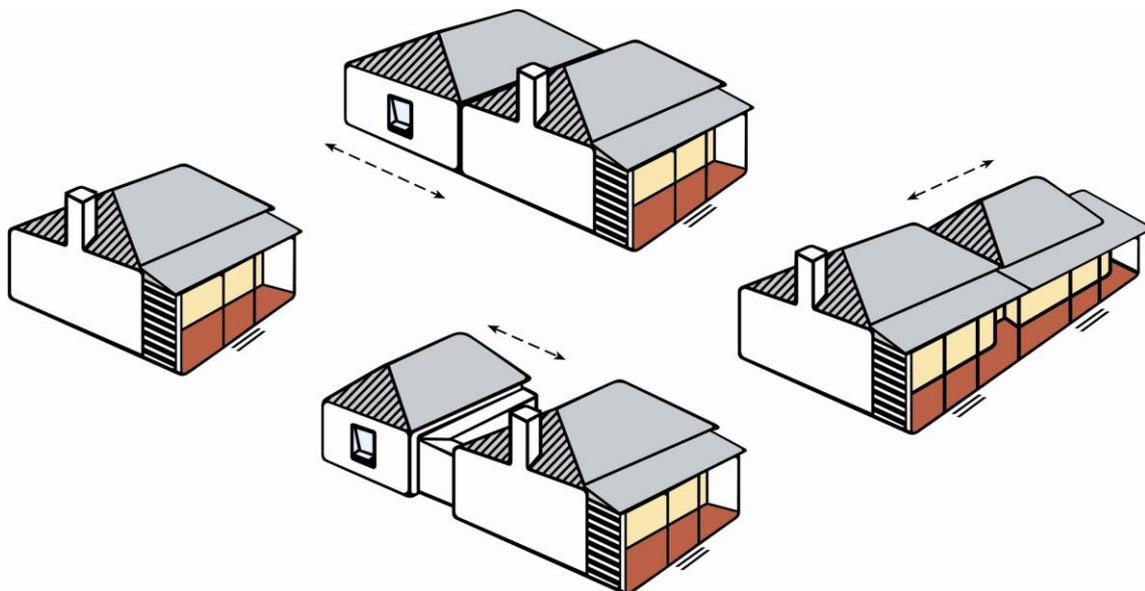
ROOF

Objective

- To retain the characteristic scale and massing of roof forms within the conservation area, and of heritage items.

Requirements

- New roofs must reflect the materials, size, shape, pitch, eaves, ridge height, and bulk of original historic roofs in the locality, and be in proportion with the proposed building;
- Residential roofs must reproduce detailing of the best historical examples in the vicinity and be pitched 25 to 30 degrees;
- Attic rooms are to use existing roof form to retain original street appearance of the building;
- The location of attic room extensions must not adversely affect significant views;
- Skylights must not be used on the front plane of roofs;
- Retention of chimneys is required. Where possible, structures attached to the exterior roof must not be located where visible on the principal elevations of buildings;
- New or replacement roof materials may be either galvanised corrugated iron, clay slates, Marseilles pattern clay tiles or stone slates, provided that they are appropriate to the style and location;
- Colorbond shall not be permitted;
- Additions should disturb the original roof form as little as possible; and
- Roof elements such as dormers and skylights should not be located where visually dominant and should be kept below the ridge line;



Suitable ways of extending an original building.

Additions should disturb the original roof form and building outline as little as possible.

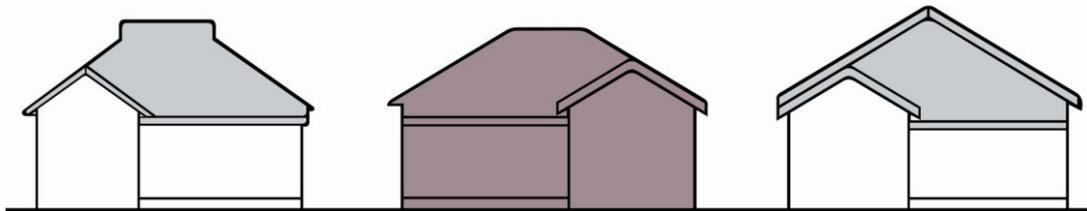
SCALE, MASSING & FORM

Objective

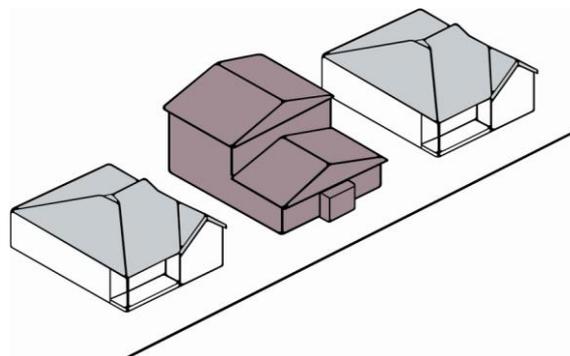
- To ensure that the scale of new development is in harmony with the streetscape and that it does not dominate existing heritage items, nor reduces their contribution to the existing pattern of development.

Requirements

- Scale (including height, bulk, density and number of storeys) of new work must relate visually to the scale of adjacent buildings. Unless it can be clearly demonstrated that greater scale would be appropriate in the individual circumstances, new buildings and additions are to be of the same scale as the surrounding development;
- Two storey development is encouraged for commercial and mixed commercial/residential buildings in main street village locations and town CBD;
- Where single storey development predominates in residential areas, new residential building shall not exceed one storey plus pitched roof with dormer windows (often referred to as one and a half storeys);
- Extensions must not visually compete with the original form of the existing buildings which they alter. This means that as far as practicable, the external wall outlines, footprint and roof shape of the original building is to be visible, unaltered and visually discernible from additions. Additions are generally expressed with a separated building mass and roof. The accepted method is a separate building attached by a low link to the original. Original roofs that are stretched or blended to cover additions are generally not acceptable.



A pattern of harmonious scale consistent with surrounding development.



In this example, new development does not respect the massing and form of surrounding buildings.

PROPORTION

Objectives

- To ensure that new development respects the proportions of elements of existing heritage fabric; and
- To ensure that new development has regard to the architectural character and style of the Item or conservation area setting.

Requirements

- New work and extensions must respect the proportions of major elements of significant existing fabric including doors, windows, openings and verandahs.



Existing patterns of: simple vertically proportioned windows in groups of three; simple bargeboard detail to gable end; and robust timber verandah posts.



New development does not respect existing patterns by selecting: multi-paned square proportioned windows in a group of two; an over-scaled finial to gable end; and slender steel verandah posts.

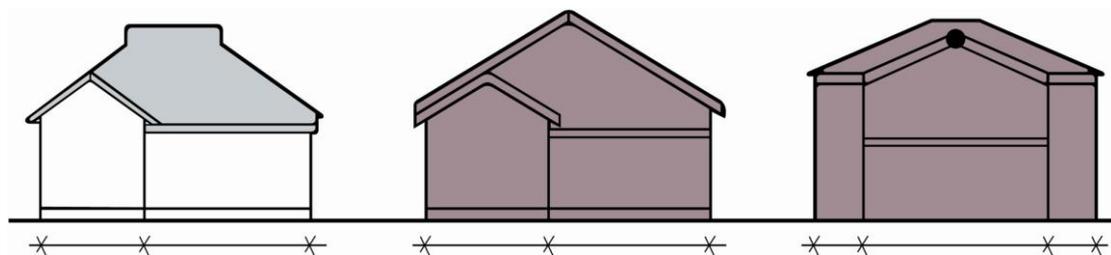
FAÇADE

Objectives

- To retain the existing façade proportions, fabric, scale and massing and character;
- To ensure that new development does not or reduce the importance of original verandahs;
- To ensure new verandahs do not conflict with heritage significance or character.

Requirements

- Two storey façades must only be proposed where surrounding development is of a predominantly two storey scale, that is in some village main streets and the town CBD;
- Original unpainted brickwork, sandstone and block work must not be rendered or painted.
- Bay widths must be limited to match those of surrounding significant development;
- Alteration of the form and materials of principal elevations is not appropriate unless associated with acceptable reconstruction works;
- Original sunhoods, blinds, awnings and skirts to principal elevations must be retained and repaired. Authentic construction or reconstruction is supported;
- Original verandahs are to be retained and restored. Infilling of verandahs is not encouraged. Additional verandahs must not compete with the importance of the original and must be simple in design, and based on existing detail or an understanding of appropriate designs for each period or style;
- New buildings must take into account the significance and design of verandahs in the locality, the methods of their incorporation in building designs and their harmonising role in streetscapes;
- Alteration to original façades which are of heritage significance is not supported;
- Designs should reflect the type of façade historically used in each locality in massing, details, materials and colours, without cheap imitation;
- Balconies on front façades are not appropriate (unless consistent with historic style).
- External wall repairs/refurbishment: Matching materials must be used in repairing the fabric of external surfaces. New development should use materials similar to or compatible with that of original buildings in the locality. In the case of new face brickwork, the colour and texture of the brick, the type of jointing, and mortar colour should be carefully matched.



Existing pattern of single storey scale and stepped massing.

New development respects existing patterns through the control of wall heights and bay widths

New development ignores existing patterns using uncharacteristic wall heights and bay widths

DOORS & WINDOWS

Objective

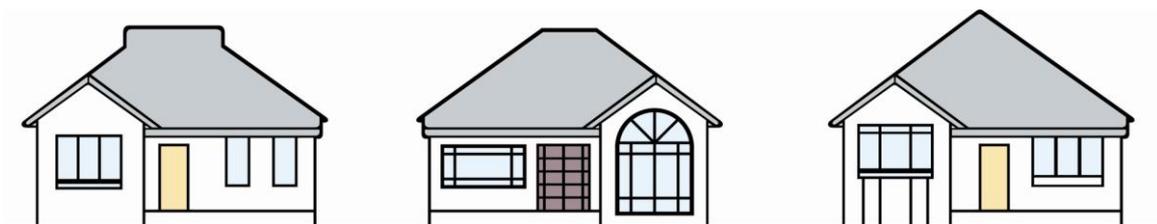
- To ensure that original elements are retained and where new elements occur, that the character and patterns of door and window openings and their construction is clearly related to the proportions, placement and scale of fenestration patterns of existing heritage fabric.

Requirements

- Doors and windows in new buildings are to be compatible with the proportions, position and size of those typical of the locality.
- Retain and repair/restore original doors and windows to principal elevations. Authentic reconstruction is encouraged. Original leadlight and coloured glass panes must be retained;
- New doors and windows in additions are to be compatible with the proportions (“vertically proportioned”), position, size and detailing of existing doors and windows; Traditional windows for example, were timber framed, double-hung or casement sashes, commonly made up of 2’ (600mm) or 2’6” (750mm) wide frames, with a height of 3’ (900mm) or 4’ (1,200mm).
- Window/door types adopted from post-1970 suburban housing estate designs do not harmonise with traditional window designs of heritage settings.
- Windows and glazed doors should be timber framed.
- Aluminium windows, provided they approximate timber in section, may be considered as an alternative for timber windows only in new buildings.



Existing pattern of simple vertically proportioned timber casement windows in bays of three, and single leaf doors



New development ignores existing patterns and uses an elaborate horizontally proportioned aluminium window and an uncharacteristically large arched window, and a double leaf door.



Window and door examples

Note the vertical proportions, timber framing, timber screen door, double hung windows, 'horned' sashes, architraves to match original, use of awnings and shutters for sun control and ornamentation.

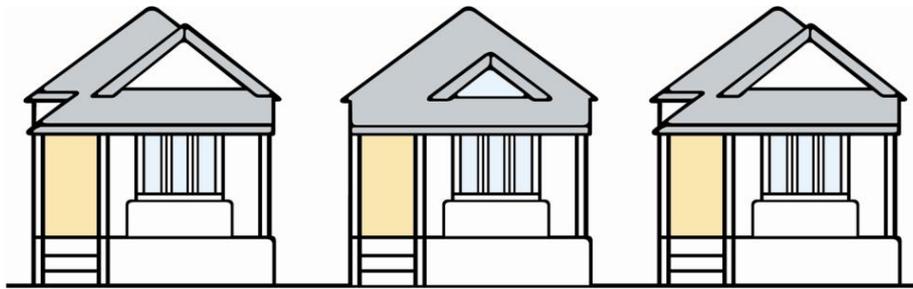
DETAILING

Objectives

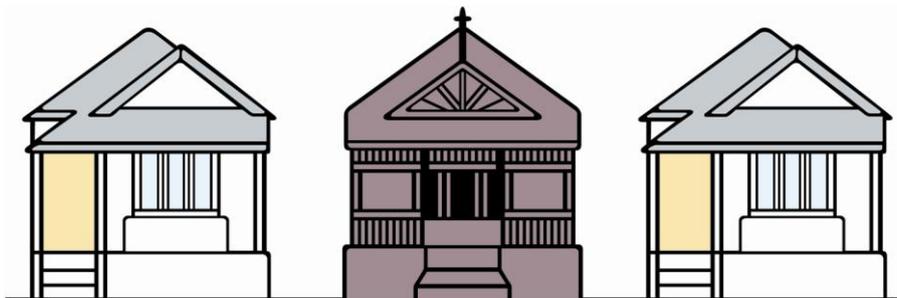
- To ensure that new development has a level of detail which is appropriate to its context; and
- To ensure that new development has regard to the architectural character and style of the heritage item or conservation area setting but does not incorporate elaborate new detailing in a period style that would prevent interpretation of what is original and what is new.

Requirements

- New work and extensions in conservation areas must have a level of detail that is similar to and complements that of surrounding heritage fabric; and
- New work must adopt a simple character which uses external finishes, colours and textures which complement the heritage fabric, rather than be a poor imitation of historic buildings.



Existing patterns of: simple verandah detailing; simple timber bargeboards with roughcast gable infill; and simple timber casement windows.



New development does not respect existing patterns by using: elaborate timber fretwork balustrade and valance to verandah; elaborate gable end detail; and multi-paned aluminium windows.

COLOURS

Objective

- To ensure that external colours provide consistency and harmony in conservation areas and for heritage items.

Requirements subject to the discretion of council

- New development should reflect surrounding buildings in the selection of external materials and finishes. Roof materials and wall surfaces are particularly critical .
- External painting in colours that complies with the heritage colour palette below should not require a development application, provided that Council is notified of the proposal and considers that the scheme does not reduce heritage values. Other colour proposals may require a referral to the Council Heritage Adviser.

Note:
Creams to be used for walls.

Dark colours for timber joinery only.

Close equivalents from other manufacturer's colour ranges may be considered.

French Grey was an interior colour only.

Art Deco requires a different historical colour palette.

Colours are required to be specified by manufacturer (e.g. Haymes, Dulux) and colour name (e.g. Buff). Colours can be matched by other manufacturers.

This advice is not an endorsement of any one paint manufacturer.

HERITAGE COLOURS 1820-1940

Pascal's collection of Heritage colours is available in Pascal's Interior/Exterior Acrylics and Enamels. However, due to the nature of modern pigments used in manufacture, some trim colours are available only in High Gloss Enamel, Gloss Acrylic and Sunscreen Gloss.

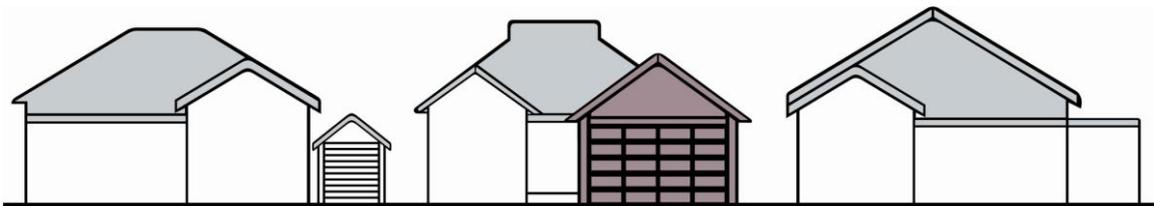
| | | | | |
|--------------|----------------|-------------------|----------------|----------------|
| | | | | |
| Mid Stone | * Venetian Red | Brown Pink | Sienna | Rose Pink |
| | | | | |
| * Indian Red | Biscuit | * Dark Stone | Drab | * Mid Brown |
| | | | | |
| Salmon | * Dark Crimson | Manilla | * Purple Brown | Light Brown |
| | | | | |
| Buff | Vellum | * Brunswick Green | Ivory | * Bronze Green |
| | | | | |
| Light Stone | French Grey | Cream | * Mid Green | Eau-de-Nil |

* Only available in High Gloss Enamel and Sunscreen. Colours, as shown, are as close as modern printing processes will allow.

CAR PARKING, GARAGES & OTHER STRUCTURES

Objectives

- To allow for reasonable on site car parking while retaining the character and significance of the conservation area or heritage item;
- To ensure that car parking facilities do not have any adverse visual impact upon heritage streetscapes;
- To ensure that garaging and driveways are visually discreet;
- To exclude carports and inappropriately detailed outbuildings that are incompatible with the architecture of the conservation area or heritage item; and
- To ensure that outbuildings do not detract from the heritage significance of the item or conservation area through inappropriate siting, or excessive scale, bulk, visibility or materials.



Double garages forward of the building alignment can dominate and destroy a heritage streetscape.

Requirements

Access

- Existing rear lane access is to be utilised in preference to front access;
- Existing side vehicular access is to be utilised;
- Driveways are to be to side boundaries; and
- Development which removes existing access must not preclude future garages behind the building line.

Location

- Uncovered car spaces may be provided forward of the building line;
- Garages must be located behind the building alignment; and
- Underfloor garage parking is not permitted as does not harmonise with historic buildings.

Scale

- The garage/outbuilding must be smaller than the main building.
- Maximum width of a driveway at street frontage is to be 3.5m; and
- Garages are to occupy no more than 20% of street frontages;

Appearance

- Carports shall not be permitted.
- Materials, form, and details of outbuildings are to harmonise with the dwelling, with steep pitched (typically 25-30 deg) roofs, timber boarded doors, timber framed double hung windows, or other detailing to match that of the dwelling.
- Garage structures are to be subservient to the residence;
- Garage doors visible from the street should be timber faced and detailed to match historical examples.
- Structures forward of the building line must be screened with vegetation;
- Garage doors and structures are to be recessed at least 1,500 mm behind the primary façade to create a shadow line.
- Roller doors visible from any public place shall not be permitted.
- Wall and roof materials may match that of the house or be corrugated galvanised iron.
- Commercial car parking areas, if proposed, should include a detailed landscape plan. A minimum of 15% of car park area must be allocated to deep soil landscaping with shade trees (large shade tree instead of every eighth car park is deemed to comply).
- Garages in multi-unit developments must be under a separate roof from the dwelling. Traditionally, garaging was in a separate outbuilding, which took secondary place to the main building (the dwelling). In keeping with the “secondary place” status, doors were timber boarded, barn style doors.



The general pattern of some townhouse proposals is to have garages incorporated under an extension of the house roof. This damages traditional proportions and is not accepted practice in heritage design.



The accepted architectural device in conjoined town houses is to plan a distinct change of roof line over the garage, so the garage has a lowered roof of lesser prominence than the dwelling. The garage door is then detailed as a timber lined tilt type automatic door (instead of the standard type roller door).

In considering any application for permission to erect an outbuilding (including a garden shed or store), Council will consider:

- The location of the proposed structure in relation to the principal building, boundaries and other details of the site;
- The proposed form, scale, materials and colours of the structure; in this regard colours and materials should be recessive.
- The relative prominence and visibility of the proposed structure from the street frontage or frontages of the site and neighbouring properties and the need for landscaping such as screening or planting to ensure that the proposed structure is well integrated with its intended site; and
- The retention of any significant outbuildings which form part of a historical curtilage.

FENCES

Objective

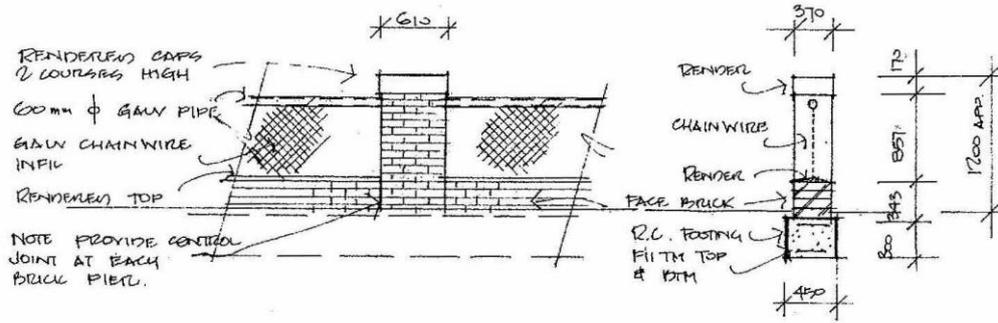
- To provide fencing that reinstates the original form of fencing, that is consistent with and does not detract from the established patterns of the street.

Requirements

- Front fencing must be of materials characteristic to the architecture of the building and particular to the street.
- Front fencing, where installed, must be one of the following types where it is consistent with the style of building being fenced: masonry fencing to 700mm maximum; open fencing such as pickets or palisade to 1,200 maximum, hedging to 1,200mm maximum.
- Fencing along boundaries to public open spaces, where installed, must be either of wire or wire mesh or of timber post and rail design or iron railing to a maximum height of 1,400 mm. Hedges, trees and shrubs may be planted for privacy.
- Internal boundary fences including those between lots, where installed, must match the fencing along boundaries to public open spaces or be stone or timber paling construction.
- Colorbond sheet and hollow metal ('pool type') fencing is not permitted.



High solid fencing destroys the harmony of the streetscape ,and prevents views of the dwellings and gardens.



Suitable pipe and chain wire fence (for interwar period style e.g. California Bungalow building).



Suitable timber picket fence.



Example of ornate timber fence for Federation period style cottage. Many other styles are available, but must be 'see-through' (not solid panelled).



Suitable fence of woven galvanised wire and post and rail (which may be timber or galvanised)



Solid front boundary fences are unacceptable as they block out views from the street.

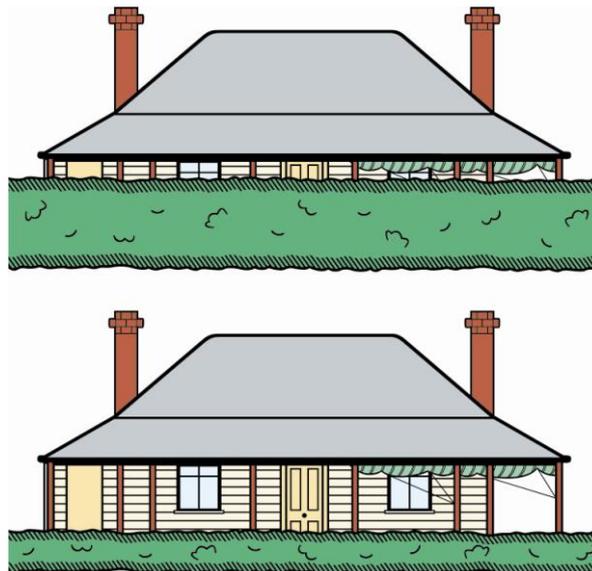
GARDEN ELEMENTS, PAVING & DRIVEWAYS

Objectives

- To retain or reinstate landscaped settings for heritage items and components of conservation areas; and
- To conserve any original landscape planting separating public from private domain and to 'frame' the view of each building and its front garden.

Requirements

- In the case of heritage items, soft landscaping shall not obscure the main building from the street, in order to allow the main building to maintain its contribution to the streetscape. Soft landscaping includes trees, shrubs, grass and garden beds;
- Hard surfaces are to be kept to a minimum. As a guide, 70% of the area forward of the building line is to be soft landscaped;
- Screening of hard surfaced areas with vegetation is encouraged;
- Garden structures are to be appropriate to primary buildings in terms of scale, style, and materials;
- Driveways and paths may be paved with black asphalt, 8% black oxide concrete to match asphalt, gravel, stone or clay brick pavers. Stamped, stencilled, exposed aggregate or plain concrete, or bright coloured paving, shall not be permitted; and
- Hedges along front boundaries and along side boundaries forward of the building line and the maintenance of hedges to heights of not more than 1200mm is encouraged.



Soft landscaping should not hide the contribution of the building to the streetscape.

Hedges should be maintained at 1200 mm maximum height.