

GOULBURN MULWAREE COUNCIL

SOUTH GOULBURN

ENDANGERED/THREATENED SPECIES

MANAGEMENT PLAN

November 2004

Adopted by Council on 16 November 2004 Minute No. 04/521
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1 INTRODUCTION

The South Goulburn area (refer Figure 1) is experiencing several development pressures for industrial use.

This area was recognised in 1990 for expansion of the City's industrial zones to cater for expected population growth and increased economic development. Since 1990 most of the land has been zoned for "Highway Service" or "Industry" and has been progressively developed for these purposes (refer Figure 2). The area along Hume Street represents the only remaining area zoned industrial for the City and therefore has a significant role in supporting the City population and any population growth with employment opportunities.

There are several key land developments within two localities including:

- RDM Distributors Centre
- South Goulburn Caravan Park
- Workers Club Sporting Arena
- McDonalds Restaurant
- Wesfarmers
- Mobile Service Station
- Several Motels
- Ranger Geale Plant Hire

The areas developed have been largely cleared sites, however, sites with remnant pockets of open woodland are now facing these development pressures. In several instances tree removal and site clearing has occurred without Council approval.

Some of the remnant vegetation is now classified as threatened or endangered by National Parks & Wildlife Service (NPWS).

2. PURPOSE OF REPORT

The purpose of this report is to –

- Identify locations of threatened or endangered vegetation in the South Goulburn area.
- Determine the relative significance of vegetation stands.
- Examine existing land use patterns and committed development as they relate to remnant vegetation.
- Develop an approach to balance the competing objectives of vegetation preservation and development expectations.
- Seek endorsement from NPWS and landowners as a framework for assessing future development proposals and ongoing land management for vegetation preservation.

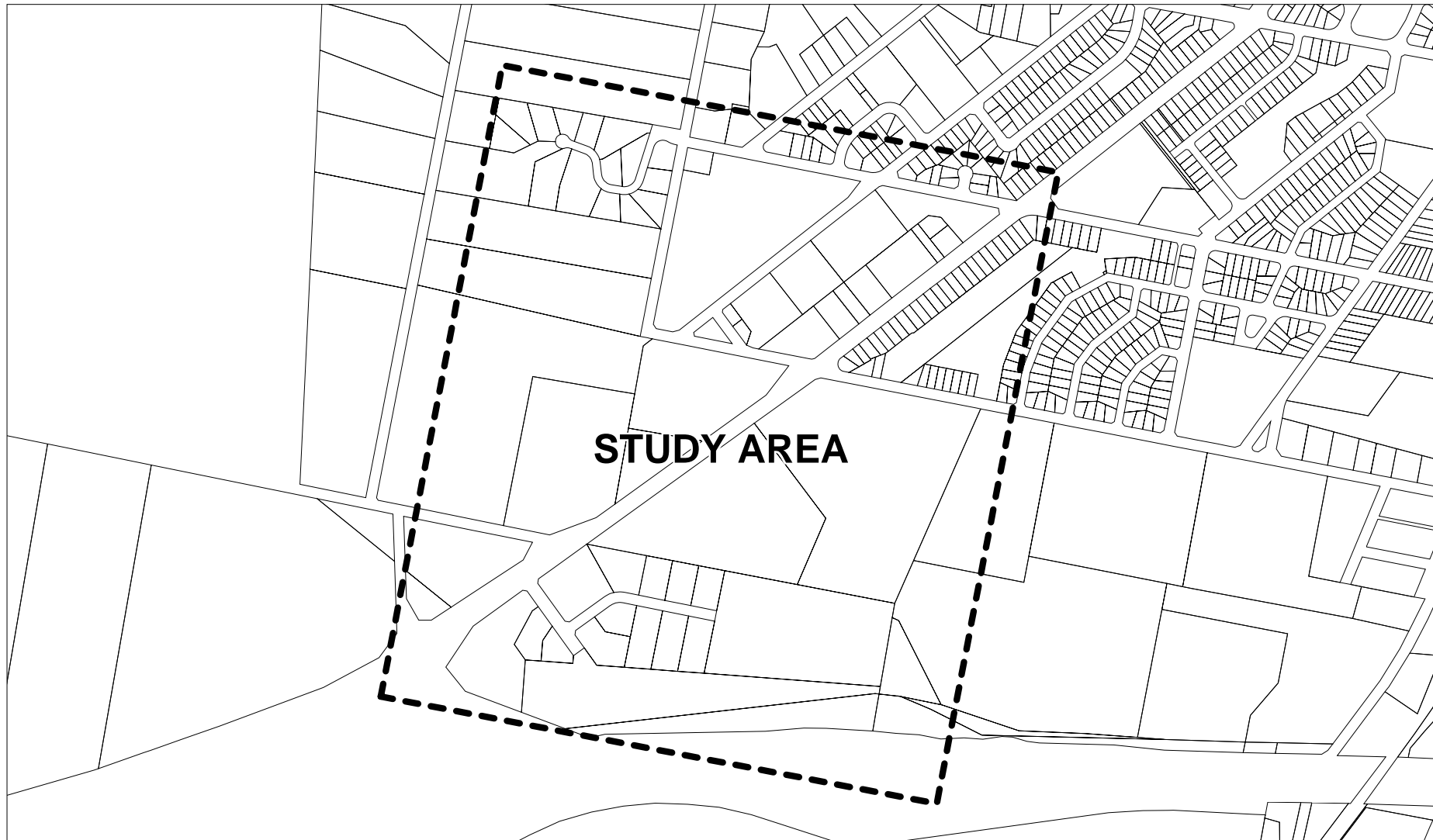


FIGURE 1 - South Goulburn Area Locality Plan



FIGURE 2 - Existing Zoning

3. THREATENED ENDANGERED SPECIES SURVEY

Council engaged Rodney Falconer to undertake a survey of threatened/endangered species in the South Goulburn area. The work focused on the vegetation communities rather than any fauna species however this was used to comment on the suitability of the vegetation to support threatened or endangered fauna species.

The key findings of the report are:-

- Establishing a vegetation corridor between Mary Street and Mulwaree River by linking South Hill, Workers Arena and large areas of Robinson Street Woodlands. This corridor is based primarily on an overstorey link.
- Investigate a wildlife corridor via Carr and Ridge Streets from Mary Street to the proposed theme park site in Ducks Lane (i.e. to the west of the Study Area).
- Develop detailed management/operational plans for these corridors including provision for:
 - Further fauna investigation
 - Protective fencing
 - Retention of hollow bearing trees
 - Replacement planting
 - Public education
 - Involvement of community groups (eg Landcare)

A full copy of the report is included in Appendix 1.

Figure 3 shows the location of the key threatened/endangered vegetation communities in the South Goulburn area.

4. LAND OWNERSHIP PATTERNS

Land ownership patterns and development activity in the area have the potential to affect the ongoing survival of remnant vegetation. Fragmented ownership will make it difficult to retain vegetation stands and will increase the complexity and coordination for ongoing management.

Similarly, land held in private ownership will place pressure on the development of the site to ensure a return on investment. In addition there is no guarantee that the land management objectives of the owner correspond with vegetation preservation.

Land held in public ownership offers a good opportunity to preserve threatened or endangered vegetation. Private landscaping and urban roadside verges only provide a limited opportunity for establishing a vegetation link. However the retention of vegetation within usual landscape areas on private property and along urban road verges will assist in creating a canopy link between the pockets of public land.

Figure 4 shows the key public landownership patterns in the South Goulburn area.



FIGURE 3 - Remnant Vegetation Communities



FIGURE 4 – Public Land Ownership

5. DEVELOPMENT APPROVAL/COMMITMENTS

Within the South Goulburn area there are several development commitments. Several longstanding approvals exist in which development has commenced. Unfortunately, there is no completion date for these projects and provided compliance with conditions continues, development may continue. Remnant vegetation at these sites is unlikely to survive long term.

Figure 5 details these development commitments.

Existing road patterns and current land users also provide barriers between each of the remnant vegetation areas preventing the creation of uninterrupted links or corridors. A “canopy link” maybe the only option to establishing some forms of connection.

Smaller isolated areas of remnant vegetation are also vulnerable from adjoining developed areas through pressures for fire hazard reduction, companion animals, weed infestation, rubbish/garden waste dumping and public safety/passive surveillance improvement.

The area along Carr and Ridge Streets is primarily within rural zonings, which limits the development potential and pressures. This has the potential to establish a more substantial vegetation corridor for the conservation of remnant threatened/endangered vegetation than land with an urban zoning.

6. STRATEGIC APPROACH

Development expectations have been built up with the zoning and pattern of land use in the area in place prior to the declaration of threatened/endangered species in the area. Balancing the competing objectives of vegetation retention and development present a challenge. Clearly retention of all remnant vegetation is unlikely considering zoning, landownership patterns and committed development. A more pragmatic solution is called for.

To achieve this balance the following broad strategic approach is suggested based on –

- Establishing a vegetation corridor between Mary Street and the By-Pass by linking South Hill, Workers Arena and large areas of Robinson Street Woodlands. This corridor is based primarily on an overstorey link or “canopy” corridor.
- A wildlife corridor via Carr and Ridge Streets from Mary Street to the proposed theme park site in Ducks Lane and South Hill.
- Linking the “canopy” corridor with the wildlife corridor to the west.

For “canopy” corridor the following additional principle should be applicable:

- Retention of remnant vegetation on existing publicly owned land not committed to development.
- Adding to these areas, as development/subdivision occurs.
- Providing re-landscaping opportunities for threatened/endangered vegetation on existing publicly owned land.
- Requiring threatened/endangered vegetation retention and revegetation in ‘public realm’ areas of larger sites.

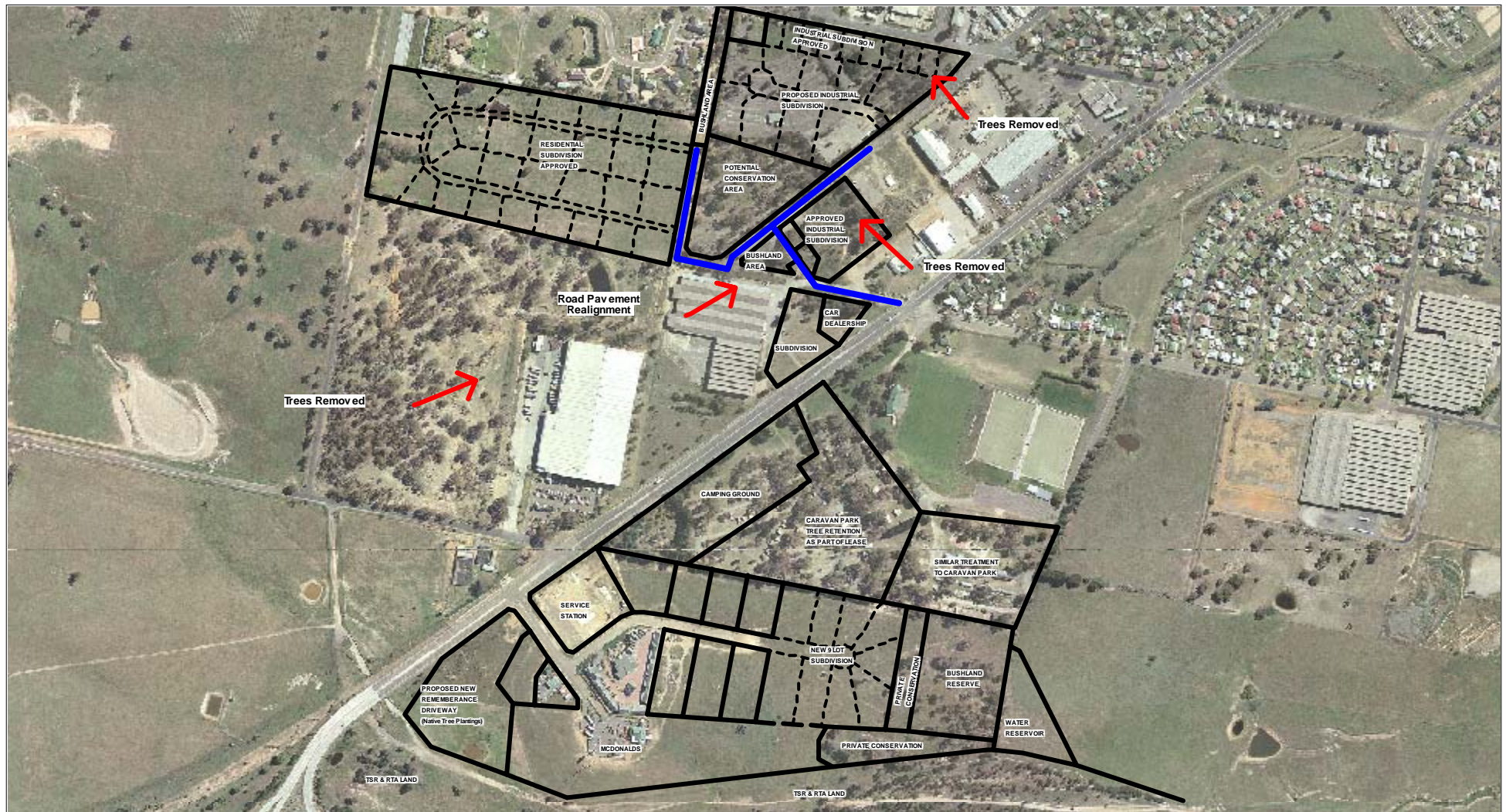


FIGURE 5 - Development Commitments

6. STRATEGIC APPROACH (cont)

Carr and Ridge Streets area offers the greater potential for the establishment of a substantial wildlife corridor for the conservation of threatened/endangered flora and fauna. This area is predominantly rural and rurally zoned giving the land a level of protection from development pressure. To establish the link more detailed investigation is required along with the preparation of a detailed management/operational plan. Resources should be directed primarily to this area where a significant difference can be made rather than trying to retrofit an existing urbanised area with fragmented land control. To supplement the existing development controls in this corridor area rezoning and development proposals in this corridor should be resisted until the plan has been completed.

Figure 6 outlines the broad strategic approach to vegetation protection and management in the South Goulburn area.

7 ACTION PLAN

The strategy for management of remnant vegetation in the South Goulburn area is based on:

- A wildlife corridor via Carr and Ridge Streets from Mary Street to the proposed theme park site in Ducks Lane and South Hill.
- An overstorey link or “canopy” corridor between Mary Street and the By-pass linking South Hill, Caravan Park/Workers Arena and the Robinson Street Woodlands.

The key action to achieve these outcomes is to develop more detailed management/operation plans for each of the corridors within the board strategic framework described in Section 6.

The more specific objectives and actions for land along the canopy corridor are detailed in the following table.

Further work is required for the western “wildlife” corridor in line with the discussion in Section 6. This can proceed as a separate project once resources have been identified.

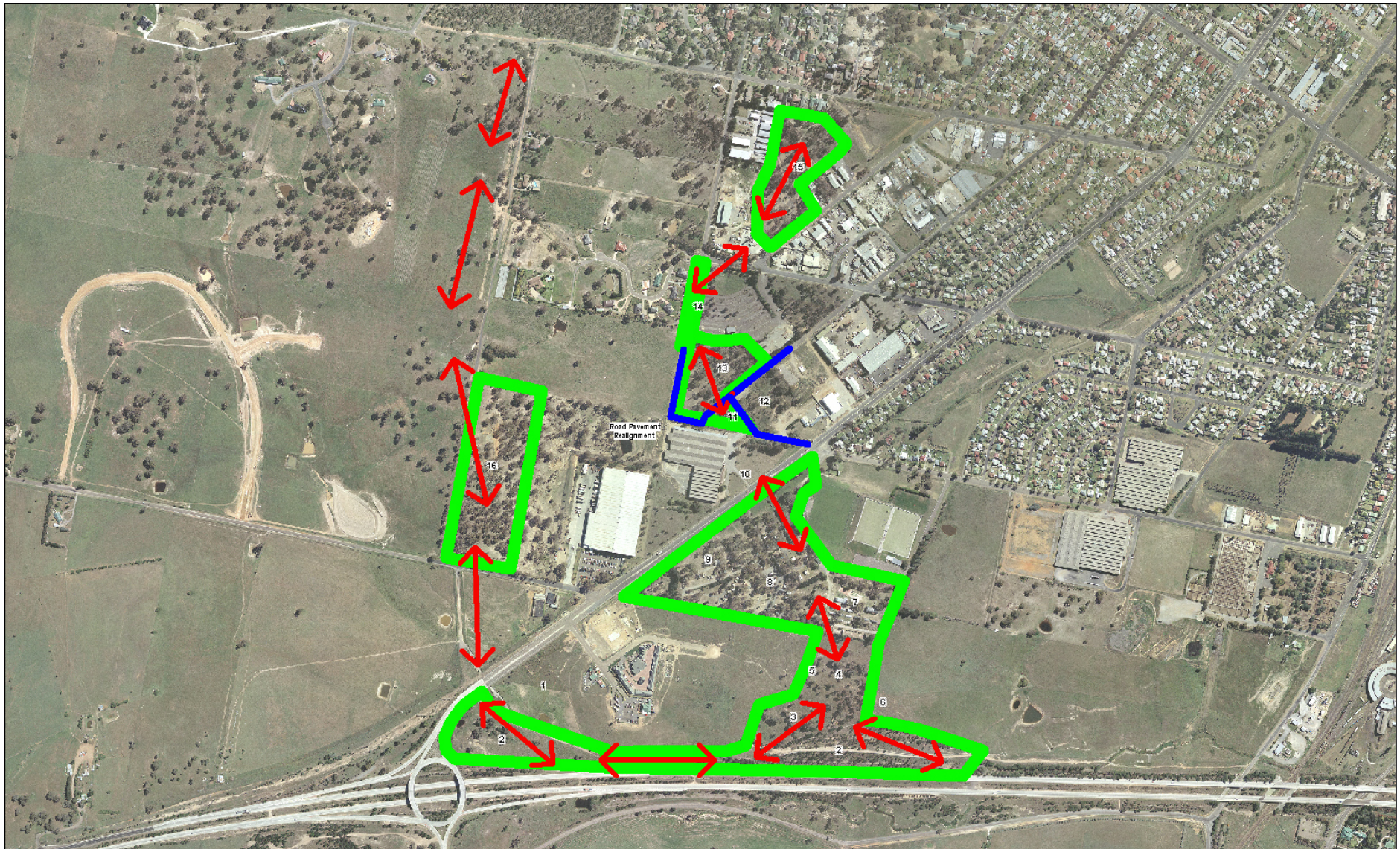


FIGURE 6 - Strategic Vegetation Protection Framework

ACTION PLAN (CANOPY CORRIDOR) – refer Figure 7

| Identifier | Site | Objective | Responsibility | Specific Actions | Comments |
|------------|-------------------------------------|---|----------------|--|--|
| 1 | Hume & Sowerby Streets | Recreate Threatened/Endangered Bushland | GMC | <ul style="list-style-type: none"> Need to remove horse agistment Re-fence for vegetation protection Revegetate | <ul style="list-style-type: none"> Site provides the opportunity to recreate Yellow Box/Blakely's Red Gum Woodland. Opportunity to recreate Memorial Driveway at the new entrance to the City Links back to South Hill along By-pass reserve. Potential to link back to Carr Street via proposed drainage reserve on Highway Service Centre opposite |
| 2 | By- pass Reserve | Recreate/Supplement Threatened/Endangered Bushland and remnant vegetation | RTA | <ul style="list-style-type: none"> Fencing along McDonalds site Revegetate | <ul style="list-style-type: none"> Links South Hill to Hume Street |
| 3 | McDonalds Land | Retain remnant vegetation | Landowner | <ul style="list-style-type: none"> Seek voluntary agreement with landowner for vegetation protection | <ul style="list-style-type: none"> Retains existing endangered/threatened community on South Hill |
| 4 | Lockyer Street (South Hill reserve) | Retain remnant hilltop vegetation | GMC | <ul style="list-style-type: none"> Develop detailed operational Plan of Management in accordance with the Local Government Act 1993 | <ul style="list-style-type: none"> Part of the exiting cleared area to be used for a water reservoir Existing vegetation will assist in providing an effective screen |
| 5 | Lockyer Street | Retain remnant vegetation | Landowner | <ul style="list-style-type: none"> Sale of land includes provision for conservation agreement of slope adjoining South Hill | <ul style="list-style-type: none"> Potential to integrate with South Hill reserve |

| Identifier (cont) | Site (cont) | Objective (cont) | Responsibility (cont) | Specific Actions (cont) | Comments (cont) |
|-------------------|-----------------------------------|---|-----------------------|---|--|
| 6 | Off Finlay Road | Supplement South Hill Bushland Reserve | GMC | <ul style="list-style-type: none"> Area in south west corner to be added to South Hill reserve Revegetate Develop detailed operational Plan of Management in accordance with the Local Government Act 1993 | <ul style="list-style-type: none"> Future water reservoir site |
| 7 | Workers Club Arena | Retain canopy cover | Landowner | <ul style="list-style-type: none"> Retention of existing trees Seek voluntary agreement with landowner for vegetation protection | <ul style="list-style-type: none"> Existing buildings sited within a treed environment. Vegetation could be under pressure with any redevelopment |
| 8 | Caravan Park | Retain canopy cover | GMC /Lessee | <ul style="list-style-type: none"> Retention of existing trees (enforce through lease conditions) | <ul style="list-style-type: none"> Caravan Park provides a canopy link to Hume Street Land zoned Highway Service |
| 9 | Camping Ground/ Memorial Driveway | Retain remnant vegetation in usual landscape setbacks | GMC /Future landowner | <ul style="list-style-type: none"> Remove exotic tree species Adopt building envelopes for development on former camping ground based on the site constraint mapping and as per NPWS advice (refer Figures 8) Relocate Memorial driveway and allow limited development | <ul style="list-style-type: none"> Supplements canopy link between Caravan Park and Robinson Street Land zoned Highway Service Prime location in South Goulburn Industrial Area Council has agreed to relocate Memorial Driveway to City entrance Centrally located vegetation stand to be retained in Council ownership Refer Figures 8 |

| Identifier (cont) | Site (cont) | Objective (cont) | Responsibility (cont) | Specific Actions (cont) | Comments (cont) |
|-------------------|----------------------------------|--|-----------------------|--|--|
| 10 | Finlay Road West & Hume Street | Create a canopy link to Finlay Road West | Landowner | <ul style="list-style-type: none"> Establish canopy vegetation link at the rear of development Usual landscaping setback along road frontages to retain remnant trees and be landscaped with canopy tree species | <ul style="list-style-type: none"> Provides a direct link between the Caravan Park site and former Drive-In site Critical in terms of continuing link from South Hill to Robinson Street woodlands Needs to be negotiated on development of the site or with landowner agreement Land zoned industrial |
| 11 | Robinson Road & Finlay Road West | <ul style="list-style-type: none"> Realign road pattern to maintain private property access and safe road pattern Retain canopy vegetation cover | GMC | <ul style="list-style-type: none"> Redesign road pattern and pavement to appropriate design standard Retain "surplus" land and road reserve as a pocket park for vegetation retention / regeneration | <ul style="list-style-type: none"> Need to balance property access, safe road design and vegetation retention Need to "maximise" the site of areas for vegetation retention/regeneration (rather than fragment) Refer Figure 9 |
| 12 | Robinson Street | Re-establish canopy tree cover | Landowner | <ul style="list-style-type: none"> Usual landscaping setbacks along road frontages to be planted with canopy tree species in accordance with NPWS requirements (as a minimum) | <ul style="list-style-type: none"> Remnant vegetation removed from site without reference to Council Land zoned industrial |

| Identifier (cont) | Site (cont) | Objective (cont) | Responsibility (cont) | Specific Actions (cont) | Comments (cont) |
|-------------------|------------------------------|---|-----------------------|---|--|
| 13 | Former Drive-In site | Retain remnant vegetation at southern portion of the site | Landowner | <ul style="list-style-type: none"> ▪ Leave southern portion of the site undeveloped. ▪ Limit southern extent of development to area asphalted for Drive-In. ▪ Landowner to prepare management plan for the southern portion of the site. ▪ Usual landscaping setbacks along road frontages to retain remnant canopy trees and be planted with canopy tree species ▪ Refer Figure 9 | <ul style="list-style-type: none"> ▪ Large woodland site ▪ Land zoned industrial ▪ Stage 1 approval (DA 42/97) in place along Lansdowne Street ▪ Remnant vegetation removed from site without reference to Council ▪ Landowner proposing to retain southern portion of site for vegetation conservation and in private ownership ▪ Consent No 250/2003 issued for industrial subdivision of northern portion of the site. Southern portion to remain undeveloped. This in fact supersedes DA 42/97 ▪ Refer Figure 9 |
| 14 | Cathcart Street road reserve | Retain remnant vegetation | GMC | <ul style="list-style-type: none"> ▪ Fence area for vegetation protection | <ul style="list-style-type: none"> ▪ Provides a screen between the industrially zoned land to the east and the existing and proposed residential area to the west |

| Identifier (cont) | Site (cont) | Objective (cont) | Responsibility (cont) | Specific Actions (cont) | Comments (cont) |
|-------------------|-------------------------------|---|-----------------------|--|--|
| 15 | Former DLWC land, Knox Street | Retain remnant vegetation in usual landscape setbacks | Landowner | <ul style="list-style-type: none"> Seek retention of remnant canopy trees in usual landscaping setback along road frontages | <ul style="list-style-type: none"> Surrounding pattern of land use now isolates this area from the former Drive-In site. Sale of land by DLWC completed without regard to vegetation values and has fragmented the ownership Area at the end of the canopy link to South Hill and no extension to the north (due to existing residential development) |

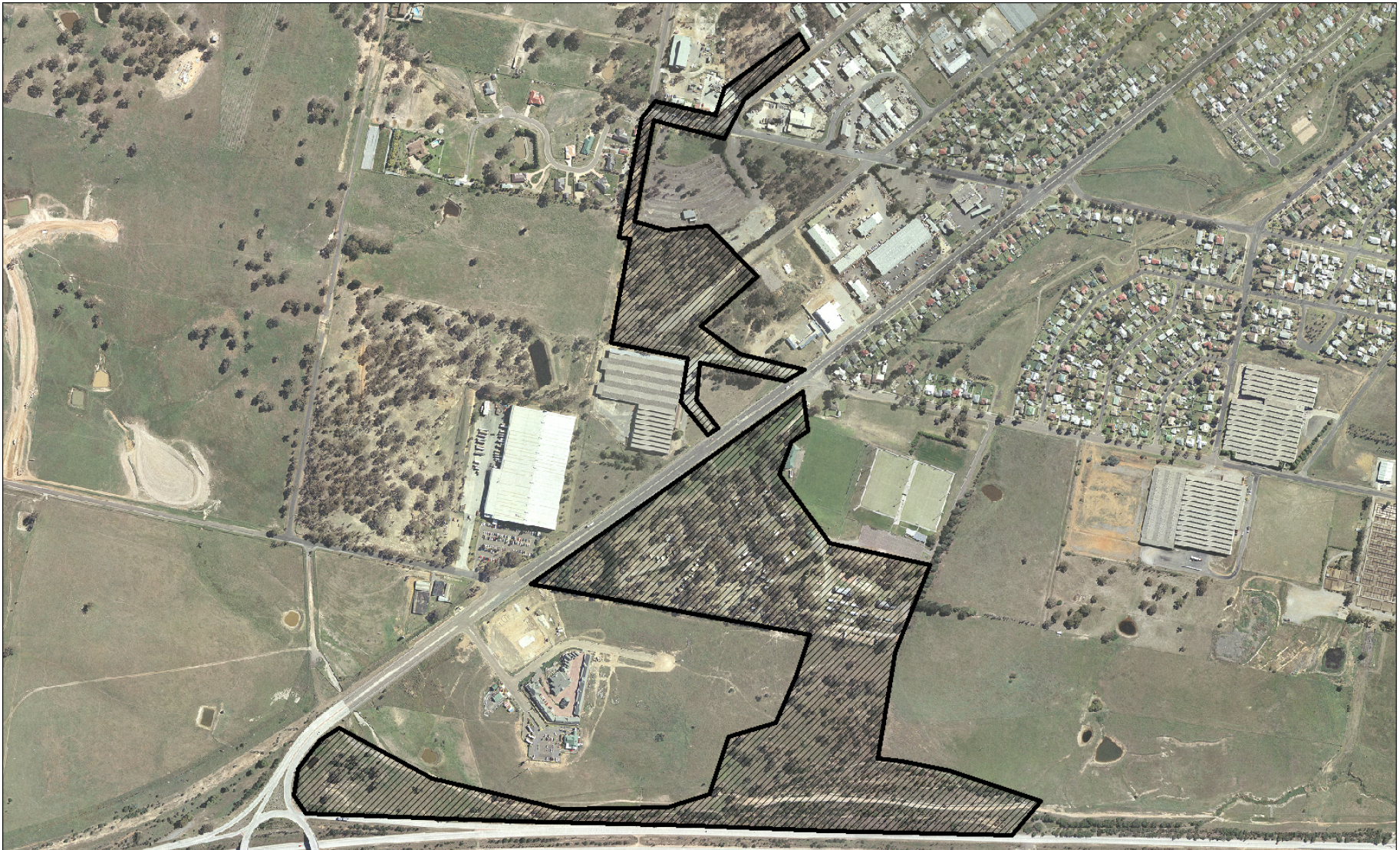


FIGURE 7 – Canopy Corridor



FIGURE 8 – Caravan Park Site Building Envelopes

Figure 8 – Caravan Park Site Building Envelopes: Explanatory Notes

| | Features | Possible Solutions/Comments |
|----------------------|---|--|
| Advantages | <ul style="list-style-type: none"> ▪ Retains locally significant trees along Hume Street ▪ Maintains central stand of woodland canopy trees and native grass understorey ▪ Continues links with existing Memorial Drive reserve and Caravan Park ▪ Retains woodland canopy trees along Caravan Park entrance ▪ Provides separate building envelopes on camping ground site ▪ Relocated Remembrance Driveway to town entrance to allow limited development | |
| Disadvantages | <ul style="list-style-type: none"> ▪ Loss of 2 locally significant trees ▪ Native vegetation areas are fragmented and not consolidated into single site ▪ Central woodland area not in public ownership ▪ Loss of public land for “conservation” | <ul style="list-style-type: none"> ▪ Areas provided for threatened species regeneration ▪ Vegetation are in sizable clusters ▪ Control by restrictive covenant ▪ Replaced at town entrance with revegetation of degraded site ▪ Significant trees retained in landscape areas |

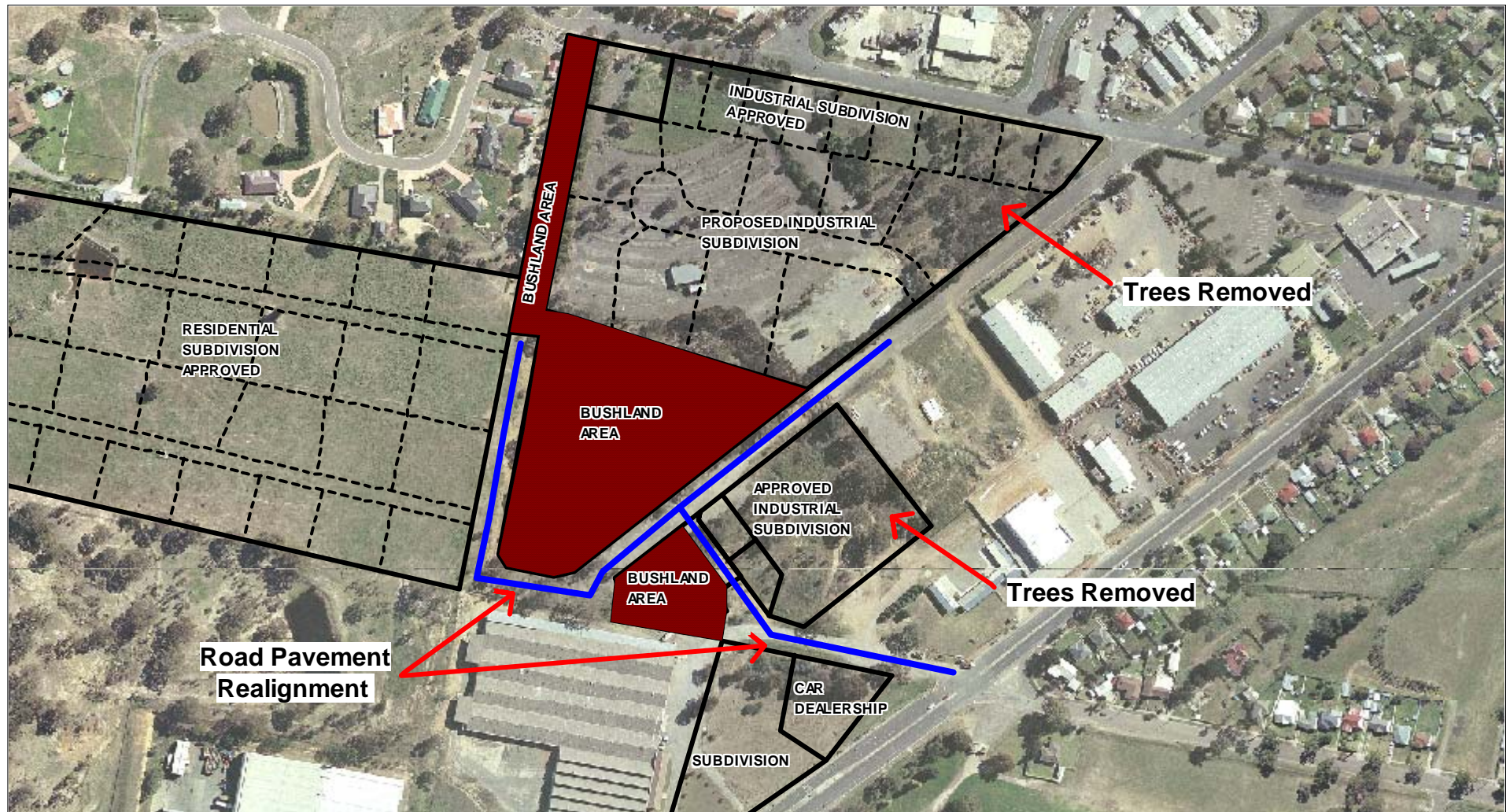


FIGURE 9 – Former Drive-In Site Area

APPENDIX 1 – Report of Natural Vegetation Area: South Goulburn