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# **BUSINESS PAPER**

## **Ordinary Council Meeting**

### **23 January 2024**

**Aaron Johansson**  
**Chief Executive Officer**



We hereby give notice that an Ordinary Meeting of Council will be held on:  
 Tuesday, 23 January 2024 at 6pm  
 in the Council Chambers, Civic Centre  
 184 - 194 Bourke Street, Goulburn

**Order Of Business**

<b>1</b>	<b>Opening Meeting</b> .....	<b>5</b>
<b>2</b>	<b>Acknowledgement of Country</b> .....	<b>5</b>
<b>3</b>	<b>Councillors Declaration and/or Prayer</b> .....	<b>5</b>
<b>4</b>	<b>Apologies</b> .....	<b>5</b>
<b>5</b>	<b>Applications for a Leave of Absence by Councillors</b> .....	<b>5</b>
	Nil	
<b>6</b>	<b>Attendance by Audio-visual link by Councillors</b> .....	<b>5</b>
<b>7</b>	<b>Late Items / Urgent Business</b> .....	<b>5</b>
<b>8</b>	<b>Disclosure of Interests</b> .....	<b>5</b>
<b>9</b>	<b>Presentations</b> .....	<b>6</b>
	Nil	
<b>10</b>	<b>Public Forum</b> .....	<b>6</b>
<b>11</b>	<b>Confirmation of Minutes</b> .....	<b>7</b>
	11.1 Minutes of the Extraordinary Meeting of Council held on 14 December 2023.....	7
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<b>12</b>	<b>Matters Arising</b> .....	<b>30</b>
	Nil	
<b>13</b>	<b>Mayoral Minute(s)</b> .....	<b>30</b>
	Nil	
<b>14</b>	<b>Notice of Motion(s)</b> .....	<b>30</b>
	Nil	
<b>15</b>	<b>Notice of Rescission(s)</b> .....	<b>30</b>
	Nil	
<b>16</b>	<b>Reports to Council for Determination</b> .....	<b>31</b>
	16.1 REV/0001/2324 - 785 Covan Creek Road, Lake Bathurst.....	31
	16.2 Tender 2324T0005 GPAC Grid Floor Installation .....	131
	16.3 VP361411 RFQ Plant 9008 Rear Compactor Garbage Truck.....	133
	16.4 VP361418 RFQ Plant 9072 and 9076 Side Compactor Garbage Trucks.....	135
	16.5 Regional Precincts Partnership Program.....	137
	16.6 Review - Instrument of Delegation to the Chief Executive Officer .....	139
	16.7 2022/23 Audited Financial Statements .....	147
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16.9	Statement of Investments & Bank Balances.....	173
16.10	Debtors Outstanding .....	178
16.11	Rates Outstanding Report.....	180
16.12	Water Charges Outstanding Report .....	183
16.13	Grants Update.....	185
16.14	Minutes of the Traffic Committee Meeting held on 7 December 2023.....	188
<b>17</b>	<b>Closed Session .....</b>	<b>196</b>
	There were no closed session reports for determination.	
<b>18</b>	<b>Conclusion of the Meeting .....</b>	<b>196</b>

**Cr Peter Walker**  
**Mayor**

**Aaron Johansson**  
**Chief Executive Officer**



**1 OPENING MEETING**

The Mayor will open the meeting and notify that this meeting is webcast live on the Council’s website.

**2 ACKNOWLEDGEMENT OF COUNTRY**

The following acknowledgement will be made by the Mayor or Chief Executive Officer.

“I would like to Acknowledge and pay our respects to the Aboriginal Elders both past and present, as well as emerging leaders, and Acknowledge the traditional custodians of the Land on which we meet today.”

**3 COUNCILLORS DECLARATION AND/OR PRAYER**

The Mayor will ask a Councillor to read either the following Declaration or Prayer on behalf of the Councillors present.

Declaration

“On behalf of the elected Councillors present here tonight I solemnly and sincerely declare and affirm that we will undertake the duties of the office of Councillor in the best interests of the people of Goulburn Mulwaree and that we will faithfully and impartially carry out the functions, powers, authorities and discretions vested in us to the best of our ability and judgement.”

OR

Prayer

“We thank thee, Lord, for this position of honour and trust. Give us the courage to serve our Council and community with honesty and integrity; and to discharge the duties entrusted to us for the common good of all mankind.”

**4 APOLOGIES**

The Mayor will call for any apologies.

Council will resolve to accept any apology.

**5 APPLICATIONS FOR A LEAVE OF ABSENCE BY COUNCILLORS**

Nil

**6 ATTENDANCE BY AUDIO-VISUAL LINK BY COUNCILLORS**

**7 LATE ITEMS / URGENT BUSINESS**

The Mayor will call for any Late Items, Information or Urgent Business.

Council may resolve to accept any late item, information or urgent business to be discussed and/or determined at this meeting.

**8 DISCLOSURE OF INTERESTS**

With reference to Chapter 14 Local Government Act 1993, and Council’s Code of Conduct, Councillors are required to declare any conflicts of interest in the matters under consideration by Council at this meeting.

**9 PRESENTATIONS**

Nil

**10 PUBLIC FORUM**

- (1) In accordance with Council's Public Forum Guideline, Council permits members of the public to address Council meetings in open forum at every Ordinary Council meeting.
- (2) A person wishing to address a meeting must contact staff in Council's Executive Section by 5.00pm [either in writing or via telephone call] on the day of the meeting and provide their name, their contact details and summary details of the item they wish to speak about.
- (3) The Mayor or Chairperson will call members of the public to address the meeting in accordance with the order of business. The address should be for no more than 5 minutes duration.
- (4) Members of the public addressing Council must abide by similar standards that apply to Councillors under the Council's Code of Conduct and this Code of Meeting Practice.
- (5) If a member of the public addressing the meeting fails to comply with the Mayor or Chairperson's call to order, the Mayor or Chairperson may withdraw that person's right to address the meeting.
- (6) In making the address:
  - a. If the chairperson is the Mayor he or she should be addressed as 'Mr Mayor' or 'Madam Mayor' or 'Mayor Surname'.
  - b. When the chairperson is not the Mayor they should be addressed as Mr. or Madam Chair or Mr. or Madam Chairperson.
  - c. Councillors must be addressed as 'Councillor Surname'.
  - d. Officers must be addressed as Mr. or Madam [job title or surname] e.g Mr. Chief Executive Officer.

The general standards that apply in Council's Code of Conduct and Code of Meeting Practice (Section 4) are applicable to addresses made by the public in Public Forum.

**11 CONFIRMATION OF MINUTES**

**11.1 MINUTES OF THE EXTRAORDINARY MEETING OF COUNCIL HELD ON 14 DECEMBER 2023**

**Author:** Chief Executive Officer

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. Minutes of the Extraordinary Meeting of Council held on 14 December 2023

**RECOMMENDATION**

That the Council minutes from Thursday 14 December 2023 and contained in Minutes Pages No 1 to 6 inclusive and in Minute Nos 2023/276 to 2023/280 inclusive be confirmed.



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# MINUTES

## Extraordinary Council Meeting

**14 December 2023**

**Order Of Business**

<b>1</b>	<b>Opening Meeting</b> .....	<b>4</b>
<b>2</b>	<b>Acknowledgement of Country</b> .....	<b>4</b>
<b>3</b>	<b>Councillors Declaration and/or Prayer</b> .....	<b>4</b>
<b>4</b>	<b>Apologies</b> .....	<b>4</b>
	5.1 Cr Bob Kirk request for Leave of Absence.....	5
<b>6</b>	<b>Attendance by Audio Visual Link</b> .....	<b>5</b>
<b>8</b>	<b>Disclosure of Interests</b> .....	<b>5</b>
<b>9</b>	<b>Presentations</b> .....	<b>5</b>
	Nil	
<b>10</b>	<b>Public Forum</b> .....	<b>5</b>
<b>11</b>	<b>Reports to Council for Determination</b> .....	<b>6</b>
	11.1 General Purpose Financial Statements and Special Purpose Statements 2022/23 .....	6
<b>12</b>	<b>Closed Session</b> .....	<b>6</b>
	There were no closed session reports for determination.	
<b>13</b>	<b>Conclusion of the Meeting</b> .....	<b>6</b>

**MINUTES OF GOULBURN MULWAREE COUNCIL  
EXTRAORDINARY COUNCIL MEETING  
HELD AT THE COUNCIL CHAMBERS, CIVIC CENTRE, 184 - 194 BOURKE STREET,  
GOULBURN  
ON THURSDAY, 14 DECEMBER 2023 AT 5PM**

**PRESENT:** Mayor Peter Walker, Deputy Mayor Cr Steven Ruddell, Michael Prevedello (via Zoom), Cr Daniel Strickland, Cr Jason Shepherd & Cr Andy Wood (via Zoom).

**IN ATTENDANCE:** Aaron Johansson (Chief Executive Officer), Brendan Hollands (Director Corporate and Community Services) & Amy Croker (Office Manager to Mayor and Chief Executive Officer)

**1 OPENING MEETING**

Mayor Peter Walker opened the meeting 5pm. The Mayor advised that the meeting would be webcast live.

**2 ACKNOWLEDGEMENT OF COUNTRY**

Mayor Peter Walker made the following acknowledgement.

"I would like to Acknowledge and pay our respects to the Aboriginal elders both past and present as well as emerging leaders, and Acknowledge the traditional custodians of the Land on which we meet today."

**3 COUNCILLORS DECLARATION AND/OR PRAYER**

The declaration was read by Deputy Mayor Steve Ruddell.

**4 APOLOGIES**

**RESOLUTION 2023/276**

**Moved:** Cr Jason Shepherd

**Seconded:** Cr Michael Prevedello

**That the apology received from Cr Bob Kirk & Cr Carol James be accepted.**

**CARRIED**

## **5 APPLICATIONS FOR A LEAVE OF ABSENCE BY COUNCILLORS**

### **5.1 CR BOB KIRK REQUEST FOR LEAVE OF ABSENCE**

#### **RESOLUTION 2023/277**

**Moved: Cr Daniel Strickland**

**Seconded: Cr Steven Ruddell**

**That:**

- 1. The report of the Chief Executive Officer on Cr Bob Kirk request for Leave of Absence be received.**
- 2. Council grants leave of absence to Cr Bob Kirk for the period 5 December 2023 to 31 January 2024 due to health reasons.**

**CARRIED**

### **LEAVE OF ABSENCE**

#### **RESOLUTION 2023/278**

**Moved: Cr Steven Ruddell**

**Seconded: Cr Daniel Strickland**

**That the application for leave of absence from Cr Carol James OAM be accepted due to prior commitments with the Goulburn Mulwaree Youth Council.**

**CARRIED**

## **6 ATTENDANCE BY AUDIO VISUAL LINK**

#### **RESOLUTION 2023/279**

**Moved: Cr Jason Shepherd**

**Seconded: Cr Steven Ruddell**

**That Cr Andy Wood & Cr Michael Prevedello attend the Council meeting virtually.**

**CARRIED**

## **7 LATE ITEMS / URGENT BUSINESS**

Nil

## **8 DISCLOSURE OF INTERESTS**

Nil

## **9 PRESENTATIONS**

Nil

## **10 PUBLIC FORUM**

Nil

**11 REPORTS TO COUNCIL FOR DETERMINATION**

**11.1 GENERAL PURPOSE FINANCIAL STATEMENTS AND SPECIAL PURPOSE STATEMENTS 2022/23**

**RESOLUTION 2023/280**

**Moved: Cr Andy Wood  
Seconded: Cr Steven Ruddell**

**That**

- 1. The report from the Director Corporate & Community Services on the General Purpose Financial Statements and Special Purpose Statements 2022/23 be received.**
- 2. The Statements under s413(2) Local Government Act 1993 be endorsed and signed off by the Mayor, Deputy Mayor, General Manager and Responsible Accounting Officer to enable the Independent Auditors reports to be issued.**
- 3. Council approve the Financial Statements for lodgement with the Office of Local Government.**
- 4. Council approve the Financial Statements to be placed on public exhibition with the Audited Financial Statements to be presented to Council at the first available meeting following receipt of the Auditors Report.**

**CARRIED**

**12 CLOSED SESSION**

Council must resolve to move into Closed Session to deal with any items under s10 *Local Government Act 1993*.

There were no closed session reports for determination.

**13 CONCLUSION OF THE MEETING**

**The Meeting closed at 5.35pm.**

**The minutes of this meeting were confirmed at the Extraordinary Council Meeting held on 19 December 2023.**

.....  
**Cr Peter Walker  
Mayor**

.....  
**Aaron Johansson  
Chief Executive Officer**



**11.2 MINUTES OF THE ORDINARY MEETING OF COUNCIL HELD ON 19 DECEMBER 2023**

**Author:** Chief Executive Officer

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. Minutes of the Ordinary Meeting of Council held on 19 December 2023

**RECOMMENDATION**

That the Council minutes from Tuesday 19 December 2023 and contained in Minutes Pages No 1 to 17 inclusive and in Minute Nos 2023/283 to 2023/310 inclusive be confirmed.



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# MINUTES

## Ordinary Council Meeting

**19 December 2023**

**Order Of Business**

<b>1</b>	<b>Opening Meeting</b> .....	<b>5</b>
<b>2</b>	<b>Acknowledgement of Country</b> .....	<b>5</b>
<b>3</b>	<b>Councillors Declaration and/or Prayer</b> .....	<b>5</b>
<b>4</b>	<b>Apologies</b> .....	<b>5</b>
<b>5</b>	<b>Applications for a Leave of Absence by Councillors</b> .....	<b>5</b>
<b>6</b>	<b>Attendance by Audio Visual Link</b> .....	<b>5</b>
<b>7</b>	<b>Late Items / Urgent Business</b> .....	<b>6</b>
<b>8</b>	<b>Disclosure of Interests</b> .....	<b>6</b>
<b>9</b>	<b>Presentations</b> .....	<b>6</b>
	Nil	
<b>10</b>	<b>Public Forum</b> .....	<b>6</b>
<b>11</b>	<b>Confirmation of Minutes</b> .....	<b>6</b>
	11.1 Minutes of the Ordinary Meeting of Council held on 21 November 2023 .....	6
	11.2 Minutes of the Extraordinary Meeting of Council held on 28 November 2023.....	6
<b>12</b>	<b>Matters Arising</b> .....	<b>7</b>
	Nil	
<b>13</b>	<b>Mayoral Minute(s)</b> .....	<b>7</b>
	Nil	
<b>14</b>	<b>Notice of Motion(s)</b> .....	<b>7</b>
	Nil	
<b>15</b>	<b>Notice of Rescission(s)</b> .....	<b>7</b>
	Nil	
<b>16</b>	<b>Reports to Council for Determination</b> .....	<b>7</b>
	16.1 Public Hearing - Proposed Council Land Reclassification of Lot 164 DP 250803, cnr Gibson Street and Howard Boulevard, Goulburn .....	7
	16.2 Goulburn CBD Health Check 2023.....	8
	16.3 Planning Proposal- 129 Marys Mount Road and 110-118 Middle Arm Road, Goulburn .....	8
	16.4 Planning Proposal - 44 Middle Arm Road, Goulburn .....	9
	16.5 2022/23 Statutory Annual Report .....	10
	16.6 Heritage Strategy .....	10
	16.7 Amendment to Development Application Advertising Fees.....	10
	16.8 Asset Management Strategy and Asset Management Plans .....	11
	16.9 Tender 2324T0001 Design and Construction Carr Confoy Pavilion.....	11
	16.10 VP360213 RFQ Plant 881/882 & 1023/1024 Truck and Dog Combinations .....	12
	16.11 VP358621 RFQ Plant 0085 Spray Seal Truck.....	12
	16.12 Council's Vision and Mission Statement.....	13
	16.13 Policy Review - Internal Reporting Policy .....	13

16.14	Community Safety Working Party Terms of Reference.....	13
16.15	Acting Chief Executive Officer .....	14
16.16	Long Term Financial Plan .....	14
16.17	Monthly Financial Report.....	14
16.18	Statement of Investments & Bank Balances.....	15
16.19	Delivery Program 2022 - 2026 Progress Report.....	15
16.20	Requests for Financial Assistance - Goulburn A P & H Society .....	15
16.21	Request for Financial Assistance - The Lieder Theatre Company .....	15
16.22	Corporate & Community Services Policy Review .....	16
16.23	Council's Operational Update - November 2023.....	16
<b>17</b>	<b>Closed Session .....</b>	<b>16</b>
17.1	Land Acquisition - Part 84 Bonnett Drive, Goulburn .....	17
<b>18</b>	<b>Conclusion of the Meeting .....</b>	<b>17</b>

**MINUTES OF GOULBURN MULWAREE COUNCIL  
ORDINARY COUNCIL MEETING  
HELD AT THE COUNCIL CHAMBERS, CIVIC CENTRE, 184 - 194 BOURKE STREET,  
GOULBURN  
ON TUESDAY, 19 DECEMBER 2023 AT 6PM**

**PRESENT:** Mayor Peter Walker, Deputy Mayor Cr Steven Ruddell, Cr Andrew Banfield, Cr Carol James OAM, Cr Daniel Strickland, Cr Jason Shepherd & Cr Andy Wood

**IN ATTENDANCE:** Brendan Hollands (Director Corporate and Community Services), Scott Martin (Director Planning and Environment), Marina Hollands (Director Utilities), George Angelis (Director Operations), Shae Aliffi (Executive Support Officer)

**1 OPENING MEETING**

Mayor Peter Walker opened the meeting 6pm. The Mayor advised that the meeting would be webcast live.

**2 ACKNOWLEDGEMENT OF COUNTRY**

Mayor Peter Walker made the following acknowledgement.

“I would like to Acknowledge and pay our respects to the Aboriginal elders both past and present as well as emerging leaders, and Acknowledge the traditional custodians of the Land on which we meet today.”

**3 COUNCILLORS DECLARATION AND/OR PRAYER**

The opening prayer was read by Cr Jason Shepherd.

**4 APOLOGIES**

**RESOLUTION 2023/281**

**Moved: Cr Andy Wood  
Seconded: Cr Carol James OAM**

**That the apologies from Cr Bob Kirk & Cr Michael Prevedello be accepted.**

**CARRIED**

**5 APPLICATIONS FOR A LEAVE OF ABSENCE BY COUNCILLORS**

**RESOLUTION 2023/282**

**Moved: Cr Carol James OAM  
Seconded: Cr Andy Wood**

**That the application for leave of absence from Cr Michael Prevedello be accepted due to family commitments.**

**CARRIED**

**6 ATTENDANCE BY AUDIO VISUAL LINK**

Nil

**7 LATE ITEMS / URGENT BUSINESS**

Nil

**8 DISCLOSURE OF INTERESTS**

Cr Andrew Banfield made a statement in relation to the Business Paper. He has assessed the Business Paper and does not perceive any declaration of interest is required to be declared in relation to his employment with Denrith Group of Companies.

Cr Jason Shepherd declared a non-pecuniary/non-significant conflict of interest in Item "16.23" Councils Operation Update November 2023" as the report mentions Marulan Quarry who have engaged his employer GHD to undertake consultancy work for them. However Cr Shepherd is not involved in the project and the Marulan Quarry is not the focus of the report. As the disclosure was not of a significant nature Jason Shepherd remained in the meeting while discussion took place.

**9 PRESENTATIONS**

Nil

**10 PUBLIC FORUM**

Heather Pratt, addressed Council on item 16.1 Public Hearing - Proposed Council Land Reclassification of Lot 164 DP 250803, cnr Gibson Street and Howard Boulevard, Goulburn.

Peter Brackenreg, Executive Director Southern, Land and Housing Corporation addressed Council on Item 16.1 Public Hearing - Proposed Council Land Reclassification of Lot 164 DP 250803, cnr Gibson Street and Howard Boulevard, Goulburn.

**11 CONFIRMATION OF MINUTES****11.1 MINUTES OF THE ORDINARY MEETING OF COUNCIL HELD ON 21 NOVEMBER 2023****RESOLUTION 2023/283**

**Moved: Cr Steven Ruddell**  
**Seconded: Cr Jason Shepherd**

**That the Council minutes from Tuesday 21 November 2023 and contained in Minutes Pages No 1 to 10 inclusive and in Minute Nos 2023/260 to 2023/272 inclusive be confirmed.**

**CARRIED****11.2 MINUTES OF THE EXTRAORDINARY MEETING OF COUNCIL HELD ON 28 NOVEMBER 2023****RESOLUTION 2023/284**

**Moved: Cr Andy Wood**  
**Seconded: Cr Steven Ruddell**

**That the Council minutes from Tuesday 28 November 2023 and contained in Minutes Pages No 1 to 5 inclusive and in Minute Nos 2023/273 to 2023/275 inclusive be confirmed.**

**CARRIED**

**12 MATTERS ARISING**

Nil

**13 MAYORAL MINUTE(S)**

Nil

**14 NOTICE OF MOTION(S)**

Nil

**15 NOTICE OF RESCISSION(S)**

Nil

**16 REPORTS TO COUNCIL FOR DETERMINATION****16.1 PUBLIC HEARING - PROPOSED COUNCIL LAND RECLASSIFICATION OF LOT 164 DP 250803, CNR GIBSON STREET AND HOWARD BOULEVARD, GOULBURN****RESOLUTION 2023/285**

Moved: Cr Daniel Strickland

Seconded: Cr Carol James OAM

That:

1. The report of the Business Manager Property & Community Services on the Public Hearing – Proposed Council Land Reclassification of Lot 164 DP 250803, corner Gibson Street and Howard Boulevard be received.
2. 36 Howard Boulevard, Goulburn (Lot 164 DP 250803) be re-classified from 'Community' to 'Operational' land under the *Local Government Act 1993*.
3. A public notice be advertised informing of Council's decision to reclassify the land referred to in point 2 above as 'Operational' land.
4. All submitters to the Public Hearing on 14 September 2023 be advised of Council's decision and thanked for their interest in this matter.
5. Arrangements commence for 36 Howard Boulevard, Goulburn (Lot 164 DP 250803) to be re-zoned from RE1 – Public Recreation to R1 – General Residential.
6. Council accepts the NSW Land and Housing Corporation offer made in its letter dated 3 November, 2023 of \$170,000 for recreation improvements to be undertaken in the vicinity of 29 Gibson Street, Goulburn (Lot 257 DP 749419), subject to 36 Howard Boulevard (Lot 164 DP 250803) being rezoned and swapped for 29 Gibson Street, Goulburn (Lot 257 DP 749419). Any improvements would only be undertaken following consultation with local residents.
7. NSW Land and Housing Corporation also cover Council's professional legal fees and disbursements (capped at \$3,500 inclusive of GST) for the transfer of 36 Howard Boulevard (Lot 164 DP 250803).

**CARRIED**In Favour: Crs Carol James OAM, Daniel Strickland, Jason Shepherd and Peter WalkerAgainst: Crs Andrew Banfield, Steven Ruddell and Andy Wood

**16.2 GOULBURN CBD HEALTH CHECK 2023****RESOLUTION 2023/286****Moved: Cr Carol James OAM****Seconded: Cr Steven Ruddell****That:**

- 1. The Goulburn CBD Health Check 2023 report from the Senior Strategic Planner be received.**
- 2. The Goulburn CBD Health Check 2023 be adopted.**
- 3. Council endorses the development of the CBD Health Check 2025.**

**CARRIED****16.3 PLANNING PROPOSAL- 129 MARYS MOUNT ROAD AND 110-118 MIDDLE ARM ROAD, GOULBURN****RESOLUTION 2023/287****Moved: Cr Andrew Banfield****Seconded: Cr Steven Ruddell****That:**

- 1. The staff assessment report on the planning proposal to rezone parts of 129 Marys Mount Road (Lots 1/2 DP 1290900) and parts 110-118 Middle Arm Road (Lots 2/3 DP 1290193), Goulburn be received.**
- 2. Council prepares a planning proposal to amend the Goulburn Mulwaree Local Environmental Plan 2009 by rezoning land located at 129 Marys Mount Road and 110-118 Middle Arm Road as follows:**
  - a) Land zoned R2 Low Density Residential or RU6 Transition which contains significant biodiversity to be avoided to C2 Conservation with no minimum lot size.**
  - b) Land zoned RU6 Transition which does not contain significant biodiversity to be avoided to R2 Low Density Residential with a minimum lot size of 700m2.**
- 3. The planning proposal, once prepared, be submitted to the NSW Department of Planning and Environment for a gateway determination in accordance with Section 3.34 of the *Environmental Planning and Assessment Act, 1979*.**
- 4. The NSW Department of Planning and Environment be advised that Council wishes to be identified in the gateway determination as the delegated plan making authority for this planning proposal.**
- 5. If the Department of Planning and Environment issues a gateway determination to proceed with the planning proposal, consultation be undertaken with the community and government agencies in accordance with any directions of the gateway determination.**

Section 375A of the *Local Government Act 1993* requires General Managers to record which Councillors vote for and against each planning decision of the Council, and to make this information publicly available.

**CARRIED**

**In Favour:** Crs Andrew Banfield, Carol James OAM, Steven Ruddell, Daniel Strickland, Jason Shepherd, Peter Walker and Andy Wood

**Against:** Nil



**16.4 PLANNING PROPOSAL - 44 MIDDLE ARM ROAD, GOULBURN****RESOLUTION 2023/288****Moved: Cr Andrew Banfield****Seconded: Cr Jason Shepherd****That:**

1. The staff assessment report on the planning proposal to rezone 44 Middle Arm Road, Goulburn be received.
2. Council prepares a planning proposal to amend the Goulburn Mulwaree Local Environmental Plan 2009 by rezoning land located at 44 Middle Arm Road (lot 2 DP 569505) from RU6 Transition to R2 Low Density Residential (and 700m<sup>2</sup> minimum lot size) and RE1 Public Recreation (where overland flow areas are identified), with no minimum lot size. The planning proposal will also include an amendment to the land use table for the RE1 Public Recreation Zone by adding “drainage” as a permissible use subject to consent within Part 3.
3. The planning proposal, once prepared, be submitted to the NSW Department of Planning and Environment for a gateway determination in accordance with Section 3.34 of the *Environmental Planning and Assessment Act, 1979*.
4. The NSW Department of Planning and Environment be advised that Council wishes to be identified in the gateway determination as the delegated plan making authority for this planning proposal.
5. If the Department of planning and Environment issues a gateway determination to proceed with the planning proposal, consultation be undertaken with the community and government agencies in accordance with any directions of the gateway determination.
6. Council prepares and exhibits an amendment to the Goulburn Mulwaree Development Control Plan 2009 to incorporate this site.

Section 375A of the *Local Government Act 1993* requires General Managers to record which Councillors vote for and against each planning decision of the Council, and to make this information publicly available.

**CARRIED**

In Favour: Crs Andrew Banfield, Carol James OAM, Steven Ruddell, Daniel Strickland, Jason Shepherd, Peter Walker and Andy Wood

Against: Nil

**16.5 2022/23 STATUTORY ANNUAL REPORT****RESOLUTION 2023/289****Moved: Cr Andy Wood****Seconded: Cr Daniel Strickland****That:**

- 1. The report by the Director Corporate & Community Services on the 2022/23 Statutory Annual Report be received.**
- 2. Council endorse the 2022/23 Statutory Annual Report as required by the Local Government Act 1993.**
- 3. Upon receipt of the independent Auditors report, the Audited Financial Statements be included alongside the Annual Report on Council's website.**

**CARRIED****16.6 HERITAGE STRATEGY****RESOLUTION 2023/290****Moved: Cr Steven Ruddell****Seconded: Cr Carol James OAM****That:**

- 1. The report from the Landscape & Heritage Planner on the Heritage Strategy be received.**
- 2. The amended Heritage Strategy 2023-2025 be adopted and published on Council's website.**

**CARRIED****16.7 AMENDMENT TO DEVELOPEMENT APPLICATION ADVERTISING FEES****RESOLUTION 2023/291****Moved: Cr Andrew Banfield****Seconded: Cr Carol James OAM****That**

- 1. The report from the Director Planning & Environment on the amendment of development application advertising fees be received.**
- 2. Council amends its fees and charges for the advertising of a development application where a notice in the newspaper is required from \$325.00 to \$800.00.**
- 3. The amended fee structure be placed on public exhibition for a period of 28 days, and should no submissions be made in relation to the amended structure, the amended fee be incorporated into Council's Fees and Charges.**

**CARRIED**

**16.8 ASSET MANAGEMENT STRATEGY AND ASSET MANAGEMENT PLANS****RESOLUTION 2023/292****Moved: Cr Andy Wood****Seconded: Cr Carol James OAM****That:**

- 1. The report on the Asset Management Strategy and Plans be noted.**
- 2. Council adopt the Asset Management Strategy and associated plans as detailed in this report.**
- 3. The Asset Strategy and Plans be submitted as part of the Special Rate Variation application.**

**CARRIED****16.9 TENDER 2324T0001 DESIGN AND CONSTRUCTION CARR CONFOY PAVILION****RESOLUTION 2023/293****Moved: Cr Andrew Banfield****Seconded: Cr Steven Ruddell****That:**

- 1. The report from the Business Manager Community Facilities on Tender 2324T0001 Design and Construction of Carr Confoy Pavilion be received.**
- 2. Council decline to accept tenders from the respondents for Tender 2324T0001 Design and Construction of Carr Confoy Pavilion, under Clause 178.3 (a) of the Local Government (General) Regulation 2021.**
- 3. Council note the reasons for declining to invite tenders or fresh applications are: that doing so would not attract additional suitable service providers over and above those that have submitted a tender;**
- 4. Council cancel the proposal for the contract for Tender 2324T0001 Design and Construction of Carr Confoy Pavilion, under Clause 178.3 (a) of the Local Government (General) Regulation 21, due to current market conditions.**
- 5. Council, under Clause 178.3 (e) of the Local Government (General) Regulation 2021 enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contract in relation to the subject matter of the tender;**
- 6. The Chief Executive Officer be given delegated authority to award the contract after negotiations have been finalised.**

**CARRIED**

**16.10 VP360213 RFQ PLANT 881/882 & 1023/1024 TRUCK AND DOG COMBINATIONS****RESOLUTION 2023/294****Moved: Cr Jason Shepherd****Seconded: Cr Daniel Strickland****That**

- 1. The report of the Operations Centre Manager is received.**
- 2. Council decline to accept any of the offers for the current Request for Quote for two truck and dog trailer combinations under VP360213 under Clause 178.3 (a) of the Local Government (General) Regulation 2021.**
- 3. Council will undertake a new tender process with a modified specification through a revised Request for Quote process for truck and trailer configuration, to best optimise operational efficiencies over the useful life of assets purchased.**
- 4. A further report be provided to Council once the revised Request for Quote process is finalised.**

**CARRIED****16.11 VP358621 RFQ PLANT 0085 SPRAY SEAL TRUCK****RESOLUTION 2023/295****Moved: Cr Daniel Strickland****Seconded: Cr Steven Ruddell****That**

- 1. The report of the Operations Centre Manager for the replacement of Plant 0085 Spray Seal Truck be received.**
- 2. Council approves the purchase from Ausroad Manufacturing Pty Ltd for a Hino FE 1426 Truck with an Ausroad Road Maintenance Body at a cost of \$376,175.00 (excl. GST).**
- 3. Unexpended funds be carried forward to 2024-2025 financial year budget and additional funds are allocated from the Plant Replacement Reserve to fund the budget shortfall.**
- 4. Funds be allocated from Plant Reserve within the 2024/25 Budget to fund additional \$126,175.00 excl. GST from original 2023/24 Heavy Fleet Replacement Program Budget.**

**CARRIED**

**16.12 COUNCIL'S VISION AND MISSION STATEMENT****RESOLUTION 2023/296****Moved: Cr Steven Ruddell****Seconded: Cr Carol James OAM****That:**

- 1. The report from the Chief Executive Officer on Council's Vision and Mission Statement be noted.**
- 2. Council endorse the following new Vision and Mission Statements:**
  - Vision Statement – 'A resilient, vibrant and connected community'**
  - Mission Statement – 'Provide infrastructure and services that meet the changing needs of our community'.**

**CARRIED****16.13 POLICY REVIEW - INTERNAL REPORTING POLICY****RESOLUTION 2023/297****Moved: Cr Andy Wood****Seconded: Cr Steven Ruddell****That**

- 1. The report Policy Review Internal Reporting Policy by the Business Manager Governance be received.**
- 2. Council places the Public Interest Disclosure Policy on public exhibition until 29 January 2024 and if no submissions are received, be adopted.**

**CARRIED****16.14 COMMUNITY SAFETY WORKING PARTY TERMS OF REFERENCE****RESOLUTION 2023/298****Moved: Cr Steven Ruddell****Seconded: Cr Daniel Strickland****That**

- 1. The report from the Chief Executive Officer on the Community Safety Working Party Terms of Reference be received.**
- 2. Council endorse the Community Safety Working Party Terms of Reference.**

**CARRIED**

**16.15 ACTING CHIEF EXECUTIVE OFFICER****RESOLUTION 2023/299****Moved: Cr Jason Shepherd****Seconded: Cr Daniel Strickland****That**

- 1. The report of the Chief Executive Officer to appoint an Acting Chief Executive Officer be received.**
- 2. In accordance with Section 377 and 378 of the *Local Government Act 1993*, Council appoints the current Director Planning and Environment Scott Martin to Acting Chief Executive Officer for the period of leave from the 18 March 2024 to 5 April 2024 (incl.) and delegates to that officer the powers authorities, duties and functions of the Chief Executive Officer.**

**CARRIED****16.16 LONG TERM FINANCIAL PLAN****RESOLUTION 2023/300****Moved: Cr Steven Ruddell****Seconded: Cr Carol James OAM****That**

- 1. The report of the Director Corporate & Community Services on the Long Term Financial Report be received.**
- 2. The updated draft Long Term Financial Plan be adopted as presented with the changes noted in this report.**
- 3. The Long Term Financial Plan be further reviewed as part of the 2024/25 budget preparations and following the outcome of Council's application to the Independent Pricing and Regulatory Pricing Tribunal.**

**CARRIED****16.17 MONTHLY FINANCIAL REPORT****RESOLUTION 2023/301****Moved: Cr Daniel Strickland****Seconded: Cr Andrew Banfield****That the report by the Director Corporate & Community Services on the Monthly Financial Report be received.****CARRIED**

**16.18 STATEMENT OF INVESTMENTS & BANK BALANCES**

**RESOLUTION 2023/302**

**Moved: Cr Andy Wood  
Seconded: Cr Steven Ruddell**

**That the report on the Statement of Investments and Bank Balances be noted.**

**CARRIED**

**16.19 DELIVERY PROGRAM 2022 - 2026 PROGRESS REPORT**

**RESOLUTION 2023/303**

**Moved: Cr Andrew Banfield  
Seconded: Cr Carol James OAM**

**That the report by the Director Corporate & Community Services on the Delivery Program 2022-2026 Progress Report be noted.**

**CARRIED**

**16.20 REQUESTS FOR FINANCIAL ASSISTANCE - GOULBURN A P & H SOCIETY**

**RESOLUTION 2023/304**

**Moved: Cr Daniel Strickland  
Seconded: Cr Carol James OAM**

**That**

- 1. The report of the Director of Corporate & Community Services on Requests for Financial Assistance – Goulburn A P & H Society be received.**
- 2. Council provide support to the Goulburn A P & H Society in the form of a cash contribution of \$2,000 and a fee waiver of \$1,500 towards waste removal for the annual Goulburn Show. The amounts to be funded from the Financial Assistance budget.**

**CARRIED**

**16.21 REQUEST FOR FINANCIAL ASSISTANCE - THE LIEDER THEATRE COMPANY**

**RESOLUTION 2023/305**

**Moved: Cr Carol James OAM  
Seconded: Cr Jason Shepherd**

**That:**

- 1. The report of the Director of Corporate & Community Services on Requests for Financial Assistance – Lieder Theatre Company be received.**
- 2. Council approves a cash contribution of \$5,000 to the Lieder Theatre funded from the Financial Assistance budget.**

**CARRIED**

**16.22 CORPORATE & COMMUNITY SERVICES POLICY REVIEW****RESOLUTION 2023/306**

**Moved: Cr Steven Ruddell**  
**Seconded: Cr Carol James OAM**

**That**

- 1. The report from the Director Corporate & Community Services on the Corporate & Community Services Policy Review be received.**
- 2. Council places the following revised policies on public exhibition until 29 January 2024 and, if no submissions are received, they be adopted as Council's policies:**
  - (i) Library Membership & Access Policy**
  - (ii) Library Collection Policy**
- 3. Any submissions received are to be considered and reported to Council prior to final adoption of the policy(s).**

**CARRIED**

**16.23 COUNCIL'S OPERATIONAL UPDATE - NOVEMBER 2023****RESOLUTION 2023/307**

**Moved: Cr Steven Ruddell**  
**Seconded: Cr Carol James OAM**

**That the report from the Chief Executive Officer on the Council's Operational Update for November 2023 be received and noted.**

**CARRIED**

**17 CLOSED SESSION**

Council must resolve to move into Closed Session to deal with any items under s10 *Local Government Act 1993*.

**RESOLUTION 2023/308**

**Moved: Cr Steven Ruddell**  
**Seconded: Cr Carol James OAM**

**That Council considers the confidential report(s) listed below in a meeting closed to the public in accordance with Section 10A(2) of the Local Government Act 1993:**

**17.1 Land Acquisition - Part 84 Bonnett Drive, Goulburn**

**This matter is considered to be confidential under Section 10A(2) - c of the Local Government Act, and the Council is satisfied that discussion of this matter in an open meeting would, on balance, be contrary to the public interest as it deals with information that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business.**

**CARRIED**

Council resolved into Closed Session at 7.40pm.



**RESOLUTION 2023/309**

**Moved: Cr Jason Shepherd  
 Seconded: Cr Daniel Strickland**

1. That Council moves out of Closed Council into Open Council.
2. That the resolutions of the Closed Session meeting which were submitted to Closed Session in accordance with s10A Local Government Act 1993 be adopted.

**CARRIED**

Council resolved into Open Council at 7.45pm.

**17.1 LAND ACQUISITION - PART 84 BONNETT DRIVE, GOULBURN**

**RESOLUTION 2023/310**

**Moved: Cr Andrew Banfield  
 Seconded: Cr Peter Walker**

**That:**

1. The report from the Business Manager Property & Community Services on the land acquisition - part 84 Bonnett Drive, Goulburn be received.
2. The CEO be given delegated authority to finalise acquisition of approximately 1,820m<sup>2</sup> of land from the owners of 84 Bonnett Drive, Goulburn in accordance with provisions under the *Land Acquisition (Just Terms Compensation) Act 1991* to dedicate as Road Widening under the *Roads Act 1993*.
3. A further report will be presented to Council in early 2024 providing an update on negotiations for the Run-O-Waters Second Access project in terms of connecting Mary Street and Pockley Road.

**CARRIED**

**18 CONCLUSION OF THE MEETING**

The Meeting closed at 7.48pm.

The minutes of this meeting were confirmed at the Ordinary Council Meeting held on 23 January 2024.

.....  
**Cr Peter Walker**  
 Mayor

.....  
**Brendan Hollands**  
 Director Corporate and Community Services

**12 MATTERS ARISING**

Nil

**13 MAYORAL MINUTE(S)**

Nil

**14 NOTICE OF MOTION(S)**

Nil

**15 NOTICE OF RESCISSION(S)**

Nil

**16 REPORTS TO COUNCIL FOR DETERMINATION**

**16.1 REV/0001/2324 - 785 COVAN CREEK ROAD, LAKE BATHURST**

**Author:** Development Assessment Officer  
 Director Planning & Environment

**Authoriser:** Aaron Johansson, Chief Executive Officer

- Attachments:**
1. Plans  
  2. Statement of Environmental Effects  
  3. Bushfire Report  
  4. Flora and Fauna Study  

<b>Reference to LSPS:</b>	Planning Priority 5: Primary Industry – Vision 2040 – Primary resource land is a valued asset; and primary industry is a significant economic sector within the LGA which contributes to positive environmental and social outcomes.
<b>DA Number:</b>	REV/0001/2324
<b>Address:</b>	785 Covan Creek Road, Lake Bathurst
<b>Proposal Description:</b>	Proposed dwelling, associated amenities, boundary adjustment, and use of a shipping container.
<b>Type of Development:</b>	Local
<b>Zone:</b>	RU2 Rural Landscape
<b>Variations to Policy:</b>	Goulburn Mulwaree Development Control Plan 2009 – <i>Part 5 Section 5.9 Rural Land Use Conflict</i>
<b>Submissions:</b>	Nil
<b>Key Issues:</b>	Nil

**RECOMMENDATION**

That:

1. The staff assessment report for Review Application REV/0001/2324 for the proposed dwelling, associated amenities, boundary adjustment, and use of a shipping container be received.
2. The refusal of DA/0366/2223 be set aside and consent be granted for REV/0001/2324 and the associated Section 68 application S68/0067/2324 for the continued use of the dwelling, associated amenities, boundary adjustment, and use of a shipping container located at 785 Covan Creek Road, Lake Bathurst, subject to the following conditions.

**SECTION A: GENERAL CONDITIONS**

1. Approved Development and Use  
 Development consent has been granted in accordance with this Notice of Determination for the purposes of the continued use of the dwelling, associated amenities, boundary adjustment and use of a shipping container under the *Goulburn Mulwaree Local Environmental Plan 2009*.  
**(Reason:** To confirm the components of the approval)
2. Development in Accordance with Documentation  
 The development must only be carried out:
  - a) in compliance with the conditions of this Notice of Determination; and

b) in accordance with the approved plans and documentation listed in the table below.

Architectural plans prepared by Tim Lee Architects			
DRAWING NO.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
0621-1368 - A01	A	Title	08/09/2023
0621-1368 – A02	A	General Notes	08/09/2023
0621-1368 – A03	A	Survey Plan	6/08/2021
0621-1368 – A04	A	Site Plan	08/09/2023
0621-1368 – A05	A	Floor Plan	08/09/2023
0621-1368 – A06	A	Elevations	08/09/2023
0621-1368 – A07	A	Section	08/09/2023
0621-1368 – A08	A	Window and Door Details	08/09/2023
0621-1368 – A09	A	BASIX	08/09/2023
0621-1368 – A10	A	BAL 29 Notes	08/09/2023
0621-1368 – A11	A	Shipping Container Details	08/09/2023
0621-1368 – A12	A	Proposed Site Plan – Buffer Zone	08/09/2023
0621-1368 – A13	A	Proposed Roof Plan	08/09/2023
Documentation prepared by Tim Lee Architects-			
DRAWING NO.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
1225525S_04	04	BASIX Certificate	13 September 2023
0621-1368 – SEE	D	Statement of Environmental Effects	September 2023
Documentation prepared by Harris Environmental -			
DRAWING NO.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
4915BF	2.1	Bushfire Hazard Assessment	1/9/2023
Documentation prepared by Land Capability Services			
DOCUMENT REF.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
-	-	Site & Soil Assessment for On-Site Effluent Disposal	August 2021
Documentation prepared by Tony Hastings Environmental Consultant-			
DRAWING NO.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
-	Final	Test of Significance	August 2023
Documentation prepared by Harris Environmental -			
DRAWING NO.	REV	TITLE OF PLAN OR DOCUMENT	DATE.
4915BF	2.1	Bushfire Hazard Assessment	1/9/2023

**(Reason:** *To ensure that the development is undertaken in accordance with the submitted plans and documents as amended)*

3. Documentation Inconsistency

In the event of any inconsistency between the conditions of this Notice of Determination, the drawings and any accompanying documentation referred to above, the conditions of this Notice of Determination prevail, to the extent of the inconsistency.

**(Reason:** *To ensure that the development is undertaken in accordance with the submitted plans and documents as amended)*

4. Solid fuel heater approval

The application for the installation for a domestic solid fuel heating appliance under the submitted s.68 application is not approved and a separate application for the domestic solid fuel heating appliance must be made and approved by ‘**Council**’.

**(Reason:** *Insufficient information has been provided to allow a proper assessment).*

5. Changes to the plans

The development shall generally be as described in the Statement of Environmental Effects (dated March 2023) and shown on the Architectural Plans (Job Number: 0621-1368, Dwg Nos. A-01 to A-11, Amendment Issue A, dated 06/03/2023) all prepared by Tim Lee Architects. No revisions to layout, works or staging of the development that will have any impact on water quality, shall be permitted without the agreement of Water NSW.

**(Reason:** *Water NSW has based its assessment under State Environmental Planning Policy (Biodiversity and Conservation) 2021) on this version of the development.)*

### SECTION B: PRESCRIBED CONDITIONS IMPOSED UNDER EP&A ACT, THE REGULATION, AND OTHER RELEVANT LEGISLATION

6. Building Code of Australia Compliance

All building work must be carried out in accordance with the provisions of the National Construction Code Series (NCC).

**(Reason:** *Prescribed by sl. 69 of 'the Regulation')*

7. Home Building Act Requirements

Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the '**Principal Certifier**' for the development to which the work relates (not being '**Council**') has given '**Council**' written notice of the following information:

- a) in the case of work for which a '**Principal Contractor**' is required to be appointed:
  - i. the name and licence number of the 'Principal Contractor'; and
  - ii. the name of the insurer by which the work is insured under Part 6 of that Act, or
- b) in the case of work to be done by an owner-builder:
  - i. the name of the owner-builder; and
  - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing residential building work are changed while the work is in progress so that the information submitted to '**Council**' in accordance with this conditions is out of date, work must not be carried out unless the '**Principal Certifier**' for the development to which the work relates has given '**Council**' written notice of the updated information.

**Note:** *A certificate of insurance that complies with the Home Building Act 1989 is in force in relation to that work in the name under which the person contracted to do the work is to be provided in relation to part 1a(ii).*

**(Reason:** *Prescribed by s. 71 of 'the Regulation')*

8. Construction Certificate Requirements for Pergola and Awnings only

New building work in accordance with the Notice of Determination must not be commenced until a Construction Certificate required by s.6.3 of '**the Act**' for the relevant part of the works has been issued in accordance with the provisions of '**the Act**' and '**the Regulation**'.

**(Reason:** *Statutory; To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)*

9. Issue of a Construction Certificate for Pergola and Awnings only

In accordance with s.19 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*, the plans and specifications submitted with a Construction Certificate must be consistent with this Notice of Determination and approved plans.

**(Reason:** *Statutory requirement)*

10. Occupation Certificate Requirements

A person must not commence occupation or use of the whole or any part of a new building (new building

includes an altered portion of, or an extension to, an existing building) unless an Occupation Certificate required by s.6.3 of **'the Act'** for the relevant part of the works has been issued in accordance with the provisions of **'the Act'** and **'the Regulation'**.

**(Reason: Prescribed by legislation)**

#### SECTION C: TO THE SATISFACTION OF COUNCIL PRIOR TO ISSUE OF A CONSTRUCTION CERTIFICATE

##### 11. Building Information Certificate

A Building Information Certificate shall be obtained from **'Council'** for the existing building only (including unauthorised building work).

An application for a Building Information Certificate must include the following documentation:

- a) Detailed architectural plans of the existing building, including sufficient dimensions.
- b) Certification by a suitably qualified structural engineer that the building is suitable for the proposed use as a class 1a dwelling.
- c) Documentary evidence that the installation of a vapour barrier has occurred to comply with 3.2.2.6 of Volume 2 of the BCA.
- d) Documentary evidence that the installation of a termite management system has occurred to comply with 3.1.4.3 of Volume 2 of the BCA and AS3660.1.
- e) Works as Executed Drawing of the completed plumbing and drainage works that clearly identify the location of compliant sanitary and stormwater drainage in accordance with AS3500.
- f) Demonstrated evidence that the installation of external wall and ceiling/roof insulation as indicated on BASIX Certificate No. 1225525S\_02 have been completed.
- g) Documentary evidence that all applicable BAL construction methods of AS3959 – 2018 for the relevant level have been adequately incorporated and installed.

Prior to the Issue of a Building Information Certificate

Any existing On-site Sewerage Management Facility servicing the building must be decommissioned in accordance with the conditions of this consent.

In accordance with the *Plumbing and Drainage Act 2011*, a plumbing and drainage *Notice of Work (NoW)* must be completed and returned to **'Council'** for its records, no later than 2 business days before the work concerned is carried out. The *Notice of Work* is to identify what plumbing and drainage work is carried out by a particular plumber/drainer. On completion of the plumbing and drainage work and prior to Council's Final Inspection of the plumbing and drainage work, the plumber/drainer is to submit to **'Council'** a *Certificate of Compliance (CoC)* and a *Sewer Service Diagram*.

An application for a licence to operate an On-Site Sewerage Management Facility must be made to and approved by **'Council'** prior to the issue of a Building Information Certificate.

The existing building is to be upgraded to comply with the relevant bush fire protection measures as required by the Conditions of this Consent. All measures shall be in place prior to the issue of a Building Information Certificate. This includes the boundary adjustment to achieve the determined Asset Protection Zone (APZ).

The dwelling must be provided with rainwater tank(s) with a minimum storage capacity of 100,000 litres of water for domestic drinking water and bushfire fighting purposes. If the **'site'** is on bush fire prone land the tank(s) must be non-combustible. This minimum capacity shall be in place prior to the issue of a Building Information Certificate.

#### SECTION D: SUBSIDIARY MATTERS TO BE COMPLETED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

##### 12. Long Service Levy Payments

The payment of a long service levy as required under Part 5 of the *Building and Construction Industry Long Service Payments Act 1986*, is required, proof that the levy has been paid, is to be submitted to the **'Certifier'** prior to the issue of any Construction Certificate. **'Council'** acts as an agent for the Long Services Payment Corporation and the levy may be paid at **'Council'** office.

**(Reason: Statutory requirement)**

##### 13. Sediment and Erosion Control

Where construction or excavation activity requires the disturbance of the soil surface or existing vegetation, erosion and sediment control techniques, as a minimum, are to be in accordance with the publication *Managing Urban Stormwater: Soils & Construction (latest edition, Landcom, 2004)* commonly referred to as the "Blue Book"

A sediment and erosion control plan must be prepared that is consistent with the Blue Book and include:

- a) all details of drainage to protect and drain the site during the construction processes;
- b) all required sediment control devices, barriers and the like;
- c) sedimentation tanks, ponds or the like;
- d) covering materials and methods; and
- e) methods for the temporary and controlled disposal of stormwater during construction.

Details demonstrating compliance with this condition must be submitted to, and approved by the **'Certifier'** prior to the issue of any Construction Certificate.

**(Reason:** *To protect the environment from the effects of sedimentation and erosion from development sites)*

**SECTION E: PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, BUILDING OR SUBDIVISION WORKS**

14. Prior to Commencement

**'Works'** must not commence on **'site'** in connection with this Notice of Determination until:

- a) a Construction Certificate (where required) for the building work has been issued by:
  - i. the consent authority; or
  - ii. an **'Accredited Certifier'**; and
- b) the person having the benefit of the development consent has:
  - i. appointed a **'Principal Certifier'** for the building work, and
  - ii. notified the **'Principal Certifier'** that the person will carry out the building work as an owner-builder, if that is the case, and
- c) the **'Principal Certifier'** has, no later than two (2) days before the building work commences:
  - i. notified the **'Council'** of his or her appointment, and
  - ii. notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work, and
- d) the person having the benefit of this Notice of Determination, if not carrying out the work as an owner builder, has:
  - i. appointed a **'Principal Contractor'** for the building work who must be the holder of a contractor licence if any residential building work is involved, and
  - ii. notified the **'Principal Certifier'** of such appointment, and
  - iii. unless that person is the **'Principal Contractor'** notified the **'Principal Contractor'** of any critical stage inspections and other inspections that are to be carried out in respect of the building work, and
- e) the person having the benefit of this Notice of Determination has given at least two (2) days' notice to the **'Council'** of the person's intention to commence building work.

Documentary evidence confirming the above statutory requirements have been satisfied must be submitted to **'Council'** not less than two (2) days before any commencement of **'works'**.

**(Reason:** *Statutory; to ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)*

15. Temporary Site Fences

A temporary timber hoarding or temporary construction **'site'** fence must be erected between the work **'site'** and adjoining lands before any commencement of works and must be maintained and be kept in place until after the completion of the works if the works:

- a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- b) could cause damage to adjoining lands by falling objects, or
- c) involve the enclosure of a public place or part of a public place.

The installation is to be confirmed by the **'Principal Certifier'** prior to any further commencement of **'site'** **'works'**.

**(Reason:** *To ensure that the safety of the public is not compromised)*

16. Sediment and Erosion Control

All required erosion and sedimentation techniques must be properly installed prior to the commencement of any **'site'** **'works'** and be maintained in a functional and effective condition throughout the construction activities until the **'site'** is stabilised.

The installation is to be approved by the **'Principal Certifier'** prior to further commencement of **'site'** **'works'**.

**(Reason:** *To protect the environment from the effects of sedimentation and erosion from development sites)*

17. Site Facilities

**'Site'** facilities must be provided as follow;

- a) if the development involves building work or demolition work the **'site'** must be fully enclosed by a temporary security fence (or hoarding) before **'works'** commence. Any such hoarding or fence is to be removed when the **'works'** have been completed;
- b) a minimum width of 1.5m must be provided between the **'site'** and the edge of the roadway so as to facilitate the safe movement of pedestrians. If trees are present in the footpath the minimum width must be provided to one side of the trees;
- c) a garbage receptacle fitted with a tight-fitting windproof lid for the reception of all putrescible and all waste capable of being windblown from the work **'site'** must be provided prior to **'works'** commencing and must be maintained and serviced for the duration of the **'works'**; and
- d) adequate toilet facilities must be provided on the work **'site'**. Each toilet provided must be a standard flushing toilet, connected to a public sewer, or if connection to a public sewer is not available, to an on-site effluent disposal system approved by the **'Council'**, or an approved temporary chemical closet. The provision of toilet facilities must be completed before any other **'works'** are commenced.

The installation of the site facilities must be approved by the **'Principal Certifier'** prior to any further commencement of **'site'** **'works'** and prior to the first inspection.

**(Reason:** *To ensure the health and safety of the community and workers on the site)*

18. Site Sign

A sign must be erected in a prominent position on any **'site'** on which work involved in the erection or demolition of a building is being carried out:

- a) stating that unauthorised entry to the **'site'** is prohibited;
- b) showing the name of the **'Principal Contractor'** (or person in charge of the **'site'**), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
- c) showing the name, address and telephone number of the **'Principal Certifier'** for the work.

Any such sign must be maintained while the **'works'** are being carried out and must be removed when the **'works'** have been completed.

The installation is to be approved by the **'Principal Certifier'** prior to any further commencement of **'site'** **'works'**.

**(Reason:** *Statutory requirement)*

**SECTION F: CONDITIONS TO BE COMPLIED WITH DURING DEMOLITION, BUILDING OR SUBDIVISION WORKS**

19. Construction Hours

All **'works'** must be restricted to within the hours of 7.00 am to 6.00 pm Monday to Friday and on Saturday to within the hours of 8.00 am to 1.00 pm inclusive, with no work on Sundays and Public Holidays.

Demolition and excavation works must be restricted to within the hours of 8.00 am to 5.00 pm Monday to Friday only.

All builders, excavators must display, on-site, their twenty-four (24) hour contact telephone number, which is to be clearly visible and legible from any public place adjoining the site.

**Note:** *Demolition work means any physical activity to tear down or break up a structure (or part thereof) or surface, or the like, and includes the loading of demolition waste and the unloading of plant or machinery.*

*Excavation work means the use of any excavation machinery and the use of jackhammers, rock breakers, excavators, loaders, or the like, regardless of whether the activities disturb or alter the natural state of the existing ground stratum or are breaking up/removing materials from the site and includes the unloading of plant or machinery associated with excavation work.*



**(Reason:** *To ensure that works do not interfere with reasonable amenity expectations of residents and the community)*

20. Excavation and Demolition

Any person acting on this Notice of Determination must ensure that: -

- a) all excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
- b) all excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- c) demolition work must be undertaken in accordance with the provisions of AS2601- Demolition of Structures.
- d) the builder is to ensure that persons working on the site comply with the SafeWork NSW requirements.

**(Reason:** *To ensure that work is undertaken in a professional and responsible manner and protect adjoining property and persons from potential damage)*

21. Earthworks

Any earthworks (including any structural support or other related structure for the purposes of the development) must: -

- a) not cause a danger to life or property or damage to any adjoining building or structure on the lot or to any building or structure on any adjoining lot;
- b) not redirect the flow of any surface or ground water or cause sediment to be transported onto an adjoining property;
- c) in the first instance be reused on **'site'**;
- d) ensure that any fill brought to the **'site'** contains only virgin excavated natural material (VENM) as defined in Part 3 of Schedule 1 to the *Protection of the Environment Operations Act 1997* or any other waste-derived material the subject of a resource recovery exemption;
- e) ensure that any excavated soil to be removed from the **'site'** is to be disposed of in accordance with any requirements under the *Protection of the Environment Operations (Waste) Regulation 2005*;
- f) ensure that documentation verifying the lawful disposal of all waste is to be kept by the applicant and provided to **'Council'** on request.
- g) not permit fill to change existing ground levels at the property boundary. Cutting and filling is to be restricted to that shown on the approved plans. Any further cutting or filling will require separate approval.
- h) ensure that any excavation is carried out in accordance with Excavation Work: Code of Practice (ISBN 978-0-642-785442), published in October 2013 by Safe Work Australia.

**(Reason:** *To ensure structural safety and to ensure excavation and fill are handled correctly)*

**SECTION G: CONDITIONS TO BE COMPLIED WITH PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE**

22. Compliance with Conditions of Consent

Prior to the issue of any Occupation Certificate the person having the benefit of this Notice of Determination must demonstrate to the **'Principal Certifier'** that all conditions required to be complied with, either at or before the occupation stage, including conditions identified as at all times have been complied with. An Occupation Certificate must not be issued where the development undertaken is in breach of this Notice of Determination.

**(Reason:** *To ensure compliance with the terms of this Notice of Determination)*

23. Installation Finalisation

An Occupation Certificate shall not be issued until the **"Principal Certifier"** has received the certification documentation from the installers and approved the onsite wastewater management system under the *Local Government Act 1993* as being consistent with these conditions.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *To ensure that the on-site wastewater management system is appropriately designed, located, and constructed to have a sustainable neutral or beneficial effect on water quality over the longer term.)*

24. Asset Protection Zone

Prior to occupation, and in perpetuity, the site around the existing building on Lot 3/DP 1116659 must be maintained as an inner protection area in accordance with the requirements of Appendix 4 of Planning for Bush Fire Protection 2019 as follows:

- north and west for a distance of 10 metres;
- east for a distance of 12 metres; and
- south for a distance of 13 metres.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *The intent of measure is to provide sufficient space and maintain reduced fuel loads to ensure radiant heat levels at the buildings are below critical limits and prevent direct flame contact.)*

25. Bush Fire Construction requirements for dwelling

Prior to occupation the converted shed/dwelling must comply with section 3 and section 7 (BAL 29) Australian Standard AS3959-2018 Construction of buildings in bush fire-prone areas or the relevant requirements of the NASH Standard - Steel Framed Construction in Bushfire Areas (incorporating amendment A - 2015). New construction must also comply with the construction requirements in Section 7.5 of 'Planning for Bush Fire Protection 2019.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *The intent of measure is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting firefighting activities.*

26. Property access roads

Property access roads must comply with the requirements of Table 7.4a of Planning for Bush Fire Protection 2019.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *The intent of measure is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting firefighting activities.*

27. Water and Utility Services

The provision of water for the habitable dwelling on Lot 3/DP 1116659 must comply with the following in accordance with Table 7.4a of Planning for Bush Fire Protection 2019:

- a 20,000 litre static water supply, tank, pool, dam or the like, must be provided on-site,
- an outlet for firefighting purposes is located within the IPA or non-hazard side and away from the structure
- 65mm Storz connection with a ball valve is fitted to the outlet,
- the ball valve, pipes and tank penetration are adequate for the full 50mm inner diameter water flow through the Storz fitting and are constructed of a metal material,
- underground tanks have an access hole of 200mm to allow tankers to refill, direct from the tank,
- a hardened ground surface for truck access is supplied within 4m of the water outlet or access hole,
- above-ground tanks are manufactured from concrete or metal,
- raised tanks have their stands constructed from non-combustible material or bush - fire-resisting timber. The bush fire-resisting timbers are Silvertop Ash, Blackbutt, Red or River Gum, Spotted Gum, Red Ironbark, Kwila (Merbau) or Turpentine,
- unobstructed access can be provided at all times,

- underground tanks are clearly marked,
- tanks on the hazard side of a building are provided with adequate shielding for the protection of firefighters,
- all exposed water pipes external to the building are metal, including any fittings,
- where pumps are provided, they are a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack,
- any hose and reel for firefighting connected to the pump must be 19mm internal diameter,
- fire hose reels are constructed in accordance with AS/NZS 1221:1997, and installed in accordance with the relevant clauses of AS 2441:2005,
- A Static Water Supply (SWS) sign must be obtained from the local NSW Rural Fire Service (RFS) and positioned for ease of identification by RFS personnel and other users of the SWS. In this regard:
  - Markers must be fixed in a suitable location to be highly visible, and
  - Markers should be positioned adjacent to the most appropriate access for the water supply.
- where practicable, electrical transmission lines are underground,
- where overhead, electrical transmission lines are proposed as follows:
  - lines are installed with short pole spacing (30m), unless crossing gullies, gorges or riparian areas, and
  - no part of a tree is closer to a power line than the distance set out in accordance with the specifications in ISSC3 Guideline for Managing Vegetation Near Power Lines.
- reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used,
- all fixed gas cylinders are kept clear of all flammable materials to a distance of 10m and shielded on the hazard side,
- connections to and from gas cylinders are metal,
- polymer sheathed flexible gas supply - lines are not used, and
- above-ground gas service pipes are metal, including and up to any outlets.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *The intent of measure is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting firefighting activities.)*

28. Colour scheme of the shipping container

The shipping container shall be painted in a grey colour of a similar colour scheme to that of the dwelling, (Colorbond Wallaby) and be painted in a way that allows the shipping container to be maintained.

Documentary evidence confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *To ensure the development does not have an adverse impact on the surrounding rural amenity.)*

**SECTION H: CONDITIONS TO BE COMPLIED WITH PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE**

29. Subdivision Certification

A Subdivision Certificate that authorises the registration of a plan of subdivision at the NSW Land Registry Services must be obtained. The following must be submitted to **'Council'** with any application for a subdivision certificate:

- a) the original plans of subdivision and administration sheets plus two (2) copies of each, and any original s.88B instrument to be endorsed, all enclosed in a protective sleeve (to prevent damage during transfer);
- b) an electronic version of all files being submitted including Word documents of all s.88 instruments;
- c) application for subdivision certificate form duly completed with payment of fees current at lodgement;
- d) written evidence in the form of a full condition compliance table that demonstrates how all the conditions contained within this Notice of Determination have been satisfied (including submission of

- all required certificates and/or information where required); and
- e) all other information required by the **'the Act'** and **'the Regulation'**.

**Notes:** *'Council' will check the consent conditions on the relevant subdivision consent. Failure to submit the required information will delay endorsement of the plan of subdivision and may require payment of rechecking fees or refusing the certificate.*

*'Council' will not accept bonds in lieu of completing subdivision works.*

**(Reason:** *To ensure compliance with relevant legislative requirements and maintenance of up to date Council records)*

30. Easements, Rights of Way and Restrictions as to User

All easements, rights-of-way, right-of-carriageway, and restrictions-as-to-user as indicated on the plans submitted with the application for a Subdivision Certificate, together with the following additional easements/rights-of-way/restrictions, naming Goulburn Mulwaree Council as the sole authority empowered to release or modify the same are to be prepared for registration on the title of the relevant Lots:

- a) The vegetated buffer of eight (8) metres shall be maintained in perpetuity. The vegetated buffer shall consist of three (3) rows of trees of native species with spaces of 2.5m between the rows. Any trees that fail are to be replaced with 90 days with the same or similar tree species.

Documentary evidence in the form of an endorsed instrument for registration by **'Council'** under section 88 of the *Conveyancing Act 1919* must be provided to the **'Certifier'** prior to the issue of any Subdivision Certificate.

**Note:** *Any reference to a plan must include the details of the title, author, drawing number, revision number and date of issue.*

**(Reason:** *To ensure proper management of land)*

**SECTION I: LOCAL GOVERNMENT ACT APPROVALS**

31. On-Site Sewerage Management

The septic tank and absorption beds shall be designed, located, and installed generally in accordance with the recommendations in the Site & Soil Assessment prepared by Land Capability Services (dated August 2021), and *Designing and Installing On-Site Wastewater Management Systems* (WaterNSW, 2023). The wastewater management system shall:

- a) ensure that all wastewater is directed to the existing septic tank with a minimum volume of 3,000 litres and be fitted with an outlet filter
- b) ensure the effluent distribution pipe from the septic tank to the new absorption beds:
  - o is buried at a minimum depth of 300 mm (500 mm under access way), and
  - o laid in a manner that provides protection against mechanical damage or deformation
- c) have new absorption beds
  - o with a minimum total base area of 80 square metres e.g., three beds each 18 m long x 1.5 m wide
  - o located as indicated in the report to ensure an adequate buffer to a drainage depression to the southwest
  - o fenced off/protected from livestock and vehicles
- d) have no part of the beds located on land that falls towards the drainage depression approximately 45 m to the south of the proposed effluent management area
- e) ensure that all effluent is fully assimilated within the boundaries of the property
- f) have switching valves and/or a dosing/distribution mechanism installed to ensure to evenly distribute the effluent to different beds, and
- g) ensure all run-on and stormwater collected from roofs, access roads and other hard surface areas is diverted away from the bed area, e.g., by means of a stabilised bund or drain with provision for energy dissipation at the outlet to prevent scouring or erosion.
- h) Appliances and fixtures with at least a four-star ratings shall be installed in the dwelling to minimise the volume of wastewater produced.

- i) No changes to the wastewater treatment and effluent management systems that may have any impact on water quality, shall be permitted without the agreement of Water NSW.
- j) The installers of the wastewater treatment and effluent management systems shall certify to Council in writing that the systems have been constructed and installed as per these conditions of consent and in accordance with Designing and Installing On-Site Wastewater Management Systems (Water NSW, 2023), and that the systems have been tested and are functioning properly.
- k) No changes to the wastewater treatment and effluent management systems that may have any impact on water quality, shall be permitted without the agreement of Water NSW.

Documentary evidence as issued by **'Council'** confirming that the above requirements have been fulfilled must be provided to the **'Principal Certifier'** prior to the issuing of any Occupation Certificate.

**(Reason:** *To ensure that the on-site wastewater management system is appropriately designed, located, and constructed to have a sustainable neutral or beneficial effect on water quality over the longer term)*

32. Decommissioning of Existing On-Site Sewerage Management Facility

Any existing On-Site Sewerage Management Facility servicing the building must be decommissioned in accordance with the following: -

- a) The existing septic tank and absorption trenches are to be decommissioned in accordance with the NSW Health Advisory Note No. 3 (revised January 2017) for Destruction, Removal or Reuse of Septic Tanks, Collection Wells, Aerated Wastewater Treatment Systems and Other Sewage Management Facility Vessels;
- b) The contents of the septic tank and collection well are to be removed by tanker to an appropriate authorised site. The contents of a septic tank or collection well must not be broadcast or discharged above ground.
- c) The sides, lid, baffle or partition (if fitted) and square junctions of the tank should be hosed down as the waste is being removed.
- d) The tank is to be treated by liberally broadcasting "Builders' (hydrated) Lime" over the exposed surfaces.
  - i. Several holes must be punched or drilled into the base of the tank. The lid and those parts of the walls baffle and square junctions above the ground should be demolished and collapsed into the tank and the tank filled with compacted clean soil or rubble and topped with clean soil.

Photographic evidence and disposal receipts demonstrating compliance with this condition must be submitted to, and approved by **'Council'** prior to the issue of any Occupation Certificate.

**(Reason:** *To ensure the existing on-site wastewater management and effluent disposal system is appropriately decommissioned)*

33. Installation Of On-Site Sewerage Management Facility

The On-Site Sewerage Management Facility must be installed in accordance with the following: -

- a) All sanitary plumbing and drainage work is to be undertaken in accordance with the requirements of 'Council' as the Water and Sewer Authority. No alterations or additions are permitted without the approval of **'Council'**.
- b) An application for a 'Licence to Operate an On-Site Sewerage Management Facility' must be made to 'Council' and approved prior to the issue of any Occupation Certificate.

**(Reason:** *To ensure compliance with statutory requirements)*

**SECTION I: CONCURRENCE AGENCY APPROVALS**

34. Water NSW Concurrence

Water NSW concurs with Council granting consent to the application, subject to the conditions within the concurrence letter dated 1 May 2023, which must be satisfied during the relevant stage of the development and prior to the issue of the Occupation Certificate (or at a time as otherwise stated in the condition).

**(Reason:** *To ensure the development has a neutral or beneficial effect on water quality)*

**SECTION J: ADVISORY INFORMATION**

- a) Prior to commencing any building, subdivision or associated constructions works, the following provisions of **'the Act'** are to be complied with:
- (i) A Construction Certificate is to be obtained in accordance with Section 6.3 of **'the Act'**.
  - (ii) A Principal Certifier is to be appointed and Council is to be notified of the appointment in accordance with Section 6.6 of the Act.
  - (iii) Council is to be notified at least two (2) days of the intention to commence building works, in accordance with Section 6.6(2)(a) of the Act.
- b) Changes to the layout of the subdivision/building configuration may require the submission of a further modification under Section 4.55 of **'the Act'**.  
Discussion with Council Development Liaison Team would assist in identifying such changes which may require the submission of a modification of a Development Application under Section 4.55 of **'the Act'**.
- c) Prior to any **'Work'** commencing on **'site'** all services should be clearly located and identified by contacting "Dial before you Dig" by telephoning 1100 or utilising [www.1100.com.au](http://www.1100.com.au)
- d) **'Council's'** fees and charges are adjusted annually on the 1<sup>st</sup> July, all fees are calculated at the time of payment this may mean that amounts required to be paid increase.

Section 375A of the *Local Government Act 1993* requires General Managers to record which Councillors vote for and against each planning decision of the Council, and to make this information publicly available.

**BACKGROUND**

In accordance with the adopted Development Assessment & Decision-Making Policy, this application is to be determined by the Council as the application is seeking a review of a determination made under delegated authority.

On 6 September 2021, Development Application DA/0152/2122 was lodged with the Council seeking development consent for the continued use and completion of the existing dwelling at 785 Covan Creek Road, Lake Bathurst.

Following assessment of the development application, an additional information request was made on 2 February 2022 identifying items that needed to be addressed and included a request to withdraw the application due to the extent of information required. A request from the owner was made for an extension of time to provide the necessary information, which was not supported. Consequently, the development application was determined, under delegation, by way of refusal on 31 May 2022, imposing the following reasons:

1. *The proposal does not satisfy Part 1 Section 1.3(g) of "the Act" as it does not to promote good design and amenity of the built environment.*
2. *The proposal included a BASIX Certificate that is inconsistent with the submitted plans, and is therefore invalid. Consequently, the proposal does not satisfy the State Environmental Planning Policy (Building Sustainability Index – BASIX) 2004.*
3. *The proposal does not promote or co-ordinate the orderly and economic use and development of land in the area, and has not demonstrated that the development would not have a negative impact on environmental sustainability. Therefore, the proposal does not satisfy Part 1 Section 1.2 of the Goulburn Mulwaree Local Environmental Plan 2009 "GM LEP 2009".*
4. *The proposal does not demonstrate the ability to "protect, manage and restore areas with high conservation, scientific, cultural or aesthetic values." Furthermore, the proposal includes insufficient buffer distances with adjoining rural land. Therefore, the proposal does not meet the objectives of the RU2 Rural Landscape Zone, as specified under the Land Use Table section of the "GM LEP 2009".*

5. *The proposal does not provide minimum buffer distances to neighbouring rural land to reduce land use conflict. Therefore, the proposal does not satisfy Part 5 Section 5.16 of the “GM LEP 2009”; or Part 1 Section 1.8, Part 2 Section 2.4, or Part 5 Section 5.9 of the Goulburn Mulwaree Development Control Plan 2009 “GM DCP 2009”.*

On 13 March 2023, a second Development Application (DA/0366/2223) was lodged with Council seeking development consent for the continued use of a two-bedroom dwelling with associated amenities and fireplaces, boundary adjustment along the western boundary, and continued use of shipping containers at the same address.

Following assessment of the development application, an additional information request was made on 14 June 2023 identifying items needing to be addressed. A meeting was held with the Assessing Officer, the Applicant and the landowner on 29 June 2023. Council requested that the application be withdrawn by 5 July 2023 due to the extent of information required.

The application was not withdrawn and the development application was determined under delegation by way of refusal on 28 July 2023, imposing the following reasons:

1. *The proposal does not satisfy Part 1 Section 1.3(g) of “the Act” as it does not to promote good design and amenity of the built environment.*
2. *The proposal has included a cost of works figure, that is not a genuine estimate of the cost of works subject to this Development Application. This has resulted in appropriate application fees not being paid. Therefore, the proposal does not satisfy Section 251 or Schedule 4 of the Environmental Planning and Assessment Regulation 2021.*
3. *The proposal included a BASIX Certificate that is inconsistent with the submitted plans (with respect to solar panels and to the dimensions of window W09) and is therefore invalid. Consequently, the proposal does not satisfy the State Environmental Planning Policy (Building Sustainability Index – BASIX) 2004.*
4. *The proposal does not promote or co-ordinate the orderly and economic use and development of land in the area; does not encourage the sustainable management, development or conservation of natural resources; and does not suitably promote the use of rural resources for agriculture and primary production. Therefore, the proposal does not satisfy Part 1 Section 1.2 of the Goulburn Mulwaree Local Environmental Plan 2009 “GM LEP 2009”.*
5. *The proposal does not demonstrate the ability to “protect, manage and restore areas with high conservation, scientific, cultural or aesthetic values.” Furthermore, the proposal includes a boundary adjustment that reduces the ability “to provide for a range of compatible land uses, including extensive agriculture”. Therefore, the proposal does not meet the objectives of the RU2 Rural Landscape Zone, as specified under the Land Use Table section of the “GM LEP 2009”.*
6. *The proposal has not clearly identified and defined the proposed use of the shipping container on the site to which approval for its use is being sought. Therefore, the proposal has not provided a permissibility pathway for the shipping container under the Land Use Table section of the “GM LEP 2009”.*
7. *The proposal has not demonstrated that the project will not fragment land with ecological values, or that the project will not create a land use conflict with respect to predominant rural land uses permissible in the area. Therefore, the proposal does not satisfy Part 4 Section 4.1D of the “GM LEP 2009”.*
8. *The proposal does not provide sufficient detail as to the extent of cut and fill required to stabilise the shipping container for structural adequacy and environmental safety. The proposal also does not specify how erosion and run-off from the shipping container’s foundations will be managed, to avoid conflict with a proposed Effluent Management Area nearby. Therefore, the proposal does not comply with Part 7 Section 7.1A of the “GM LEP 2009”.*

9. *The Flora and Fauna Report is contrary to the findings of a site inspection undertaken by Council's Biodiversity Officer, and has not considered the potential impacts of the full extent of works proposed. Therefore, the application has not considered the potential impacts on native flora and fauna, and does not satisfy Part 7, Section 7.2 of the "GM LEP 2009", Part 3 Section 3.15 of the "GM DCP 2009", or the Biodiversity Conservation Act 2016.*
10. *The proposal does not provide sufficient buffer distances to neighbouring rural land to prevent the fragmentation of preferred and permissible rural land uses in the area. Furthermore, the application has not provided justification for a reduced buffer to rural land uses on neighbouring land. Therefore, the proposal does not satisfy Part 2 Section 2.1, or Part 5 Section 5.9 of the Goulburn Mulwaree Development Control Plan 2009 "GM DCP 2009".*
11. *The proposal is unsympathetic to the rural setting of the area - with a dwelling design and appearance not consistent with existing dwellings in the area. The proposal does not provide for sufficient site treatments such as landscaping to deliver a visual buffer to or from adjoining public and private areas. Therefore, the proposal does not satisfy Part 2 Section 2.4 or Part 5 Section 5.3.1.1 of the "GM DCP 2009".*
12. *The proposal does not indicate the location of a dedicated rainwater tank, energy dissipater for the dispersal of rainwater tank overflows, or bunding to prevent run-off from the shipping containers foundations reaching the proposed Effluent Management Area. Therefore, the proposal does not satisfy Part 3 Section 3.16 of the "GM DCP 2009".*
13. *The proposal has not clearly labelled on plans the location of a dedicated rainwater tank or tanks to provide water for use inside the proposed dwelling. Therefore, the proposal does not satisfy Part 5 Section 5.3.1.2 of the "GM DCP 2009", or Council's Stormwater Drainage and Rainwater Collection Systems Policy.*
14. *The proposal includes buffer and screening trees (radiata pine), that are considered invasive in rural settings, and are inconsistent with Council's list of preferred planting species. Therefore, the proposal does not satisfy Appendix B of the "GM DCP 2009".*
15. *The proposal is not in the public interest, as it has not demonstrated that landowners of neighbouring Lot 2 of DP 1116659 have agreed to the precise extent of boundary adjustment proposed. Therefore, the requirement to provide owners consent has not been satisfied.*
16. *The proposal having regard to the provisions of Section 4.15 of "the Act", is considered to be unsatisfactory and therefore, is not in the public interest.*

The Review Application relates only to the most recent development application DA/0366/2223 and the assessment and removal of the reasons for refusal are detailed further within the report.

## **REPORT**

### **Proposed Development**

Review Application REV/0001/2324 was submitted on 13 September 2023 requesting a review of the refusal of DA/0366/2223. The Review Application remains for the continued use of a two-bedroom dwelling with associated amenities and fireplaces with a boundary adjustment and continued use of shipping containers.

A copy of the revised plans and documents submitted are included in the **Attachment**.

### **Site and Locality Description**

The site located at 785 Covan Creek Road, Lake Bathurst, is a 40-ha site located near the western end of a no-through dirt road accessed from Braidwood Road to the east. The site has a northerly aspect to the road, with an undulating topography that slopes down to a location on the eastern



boundary. The site contains some natural drainage paths and dams in the northern half, with native vegetation occupying much of the southern half.

The surrounding area comprises a mix of semi-cleared rural land, with areas of wooded vegetation, some grasslands, and some rural dwellings. Dwellings in the surrounding area appear more like standard rural dwellings with various materials and colours that display the different housing styles for the area.



Image 1 - A locality plan of the development site.

### Assessment of Review Application

The Review Application has a time limited appeal period under Section 8.10 (1)(a) of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Therefore, as the application was refused on 28 July 2023, it must be assessed and determined by 28 January 2024.

Under Section 8.3 of the EP&A Act, the proposed development remains substantially the same: continued use of a two-bedroom dwelling with associated amenities and fireplaces, a boundary adjustment along the western boundary, and continued use of shipping containers.

The Review Application was not notified to adjoining and adjacent residents as the original application was not required to be notified and is consistent with the Council's Community Participation Plan.

The Review Application has been considered by Council planning staff, and the reasons for refusal addressed below.

1. *The proposal does not satisfy Part 1 Section 1.3(g) of "the Act" as it does not to promote good design and amenity of the built environment.*

The proposal will provide additional building external cladding, which includes the use of Colorbond sheeting using the Wallaby colour, which is a lighter grey colour. Colorbond wall cladding is similar to the style used for the dwelling at 809 Covan Creek Road, which is 208 metres west of the subject property. The proposal will also provide a landscaping buffer between the dwelling and the proposed farm building along the northern boundary adjoining Covan Creek Road.

As a result, Reason 1 of the refusal shall be removed.

2. *The proposal has included a cost of works figure, that is not a genuine estimate of the cost of works subject to this Development Application. This has resulted in appropriate application fees not being paid. Therefore, the proposal does not satisfy Section 251 or Schedule 4 of the Environmental Planning and Assessment Regulation 2021.*

A revised cost estimate has been provided and accepted.

As a result, Reason 2 of the refusal shall be removed.

3. *The proposal included a BASIX Certificate that is inconsistent with the submitted plans (with respect to solar panels and to the dimensions of window W09) and is therefore invalid. Consequently, the proposal does not satisfy the State Environmental Planning Policy (Building Sustainability Index – BASIX) 2004.*

The plans and BASIX Certificate submitted with the Review Application are consistent and meet the requirements of *State Environmental Planning Policy (Building Sustainability Index – BASIX) 2004*.

As a result, Reason 3 of the refusal shall be removed.

4. *The proposal does not promote or co-ordinate the orderly and economic use and development of land in the area; does not encourage the sustainable management, development or conservation of natural resources; and does not suitably promote the use of rural resources for agriculture and primary production. Therefore, the proposal does not satisfy Part 1 Section 1.2 of the Goulburn Mulwaree Local Environmental Plan 2009 "GM LEP 2009".*

The Review Application is supported by a Test of Significance report in relation to biodiversity and environmental issues, which has been reviewed by the Council's Environment & Biodiversity Assessment Officer. Council is satisfied that the proposed development is not likely to have a significant adverse impact on any threatened species. The Test of Significance report is included in the **Attachment** (refer flora and fauna study). The proposal is for the continued use of a dwelling and a boundary adjustment to promote the use of the land. The boundary adjustment is proposed to allow area for the required asset protection zone for the dwelling and results in both lots remaining the same size. It is considered that the proposed design of the boundary adjustment and use of the dwelling will satisfy the requirements as addressed under Part 1 Section 1.2 of the Goulburn Mulwaree Local Environmental Plan 2009 "GM LEP 2009".

As a result, Reason 4 of the refusal shall be removed.

5. *The proposal does not demonstrate the ability to “protect, manage and restore areas with high conservation, scientific, cultural or aesthetic values.” Furthermore, the proposal includes a boundary adjustment that reduces the ability “to provide for a range of compatible land uses, including extensive agriculture”.*

*Therefore, the proposal does not meet the objectives of the RU2 Rural Landscape Zone, as specified under the Land Use Table section of the “GM LEP 2009”.*

The Review Application is supported by a Test of Significance report, which has been reviewed by the Council’s Environment & Biodiversity Assessment Officer. The review concluded that the proposed development is not likely to have a significant adverse impact on any threatened species. The boundary adjustment will result in both lots remaining the exact lot sizes. Small-scale extensive agriculture can still be conducted on both properties while also allowing the management of the environmental matters that are located within both properties.

As a result, Reason 5 of the refusal shall be removed.

6. *The proposal has not clearly identified and defined the proposed use of the shipping container on the site to which approval for its use is being sought. Therefore, the proposal has not provided a permissibility pathway for the shipping container under the Land Use Table section of the “GM LEP 2009”.*

The site plans have identified that the shipping container will be used as a farm/storage shed for storing property maintenance equipment such as slashing equipment, chainsaws, etc. and will be considered ancillary to the dwelling.

As a result, Reason 6 of the refusal shall be removed.

7. *The proposal has not demonstrated that the project will not fragment land with ecological values, or that the project will not create a land use conflict with respect to predominant rural land uses permissible in the area. Therefore, the proposal does not satisfy Part 4 Section 4.1D of the “GM LEP 2009”.*

The Review Application is supported with a Test of Significance report, which has advised that the proposed development will not negatively impact the threatened species or communities of the locality. The boundary adjustment will create a 30m buffer distance which is less than the Goulburn Mulwaree Development Control Plan minimum requirement of 60m. Allowing for the full 60m will result in a negative outcome as it will result in land being unusable for 802 Covan Creek Road. The creation of an eight (8) metre vegetated buffer along the property boundary will reduce the land use conflict between the adjoining landholdings. As the lots are currently 40ha, they will only be used for small-scale farming purposes. The vegetated buffer will be required to be maintained in perpetuity with a restriction to be placed on the land as a condition of consent.

As a result, Reason 7 of the refusal shall be removed.

8. *The proposal does not provide sufficient detail as to the extent of cut and fill required to stabilise the shipping container for structural adequacy and environmental safety. The proposal also does not specify how erosion and run-off from the shipping container’s foundations will be managed, to avoid conflict with a proposed Effluent Management Area nearby. Therefore, the proposal does not comply with Part 7 Section 7.1A of the “GM LEP 2009”.*

Detail of the location and siting of the shipping container has been revised on the plans to show minimal cut and fill, a structural footing at the corners for attachment, a stabilised pad

and bunding to protect from run-off. The foundations for the shipping container will not conflict with the Effluent Management Area.

As a result, Reason 8 of the refusal shall be removed.

9. *The Flora and Fauna Report is contrary to the findings of a site inspection undertaken by Council's Biodiversity Officer and has not considered the potential impacts of the full extent of works proposed. Therefore, the application has not considered the potential impacts on native flora and fauna, and does not satisfy Part 7, Section 7.2 of the "GM LEP 2009", Part 3 Section 3.15 of the "GM DCP 2009", or the Biodiversity Conservation Act 2016.*

A revised Test of Significance report has been submitted with the Review Application and has been reviewed by Council's Environment & Biodiversity Assessment Officer which has concluded that the proposed development is not likely to have a significant adverse impact on any threatened species. The Environment & Biodiversity Assessment Officer is satisfied with the information provided in the report.

As a result, Reason 9 of the refusal shall be removed.

10. *The proposal does not provide sufficient buffer distances to neighbouring rural land to prevent the fragmentation of preferred and permissible rural land uses in the area. Furthermore, the application has not provided justification for a reduced buffer to rural land uses on neighbouring land. Therefore, the proposal does not satisfy Part 2 Section 2.1, or Part 5 Section 5.9 of the Goulburn Mulwaree Development Control Plan 2009 "GM DCP 2009".*

The applicant has reasoned that the proposal will meet the minimum buffer distance via the boundary adjustment. However, the application will only provide a 30m distance which is less than the 60m minimum distance requirement. The landowner has agreed to additional landscaping to screen the dwelling and facilitate the rural amenity. Past discussions with the Council confirmed that due to the existing constraints of the land, a reduced buffer would be considered by placing a sizeable, vegetated buffer along the amended boundary line. The site plans supplied to the Council show that an eight (8) metre buffer with a mixture of native trees (three rows) with different canopy heights has been included.

It is noted that the reduced buffer distance does require a variation to Council's DCP, however. In accordance with Clause 5.9.1.2 "*the required buffers may be reduced if, in the opinion of Council, the development will not be adversely affected by the use of adjoining land*". Given the context of the site and locality, and proposed land use conflict management methods, it is considered reasonable to permit the variation in this instance.

As a result, Reason 10 of the refusal shall be removed.

11. *The proposal is unsympathetic to the rural setting of the area - with a dwelling design and appearance not consistent with existing dwellings in the area. The proposal does not provide for sufficient site treatments such as landscaping to deliver a visual buffer to or from adjoining public and private areas. Therefore, the proposal does not satisfy Part 2 Section 2.4 or Part 5 Section 5.3.1.1 of the "GM DCP 2009".*

The site plans show a landscaped buffer along the property boundary on Covan Creek Road and an 8m landscaped buffer along the new property boundary line. The landscape buffer will still allow for an effective Asset Protection Zone. The dwelling design and appearance will be like other dwellings in the area with the use of Colorbond wall cladding. The shipping container will also be screened from view via a vegetation screen.



As a result, Reason 11 of the refusal shall be removed.

12. *The proposal does not indicate the location of a dedicated rainwater tank, energy dissipater for the dispersal of rainwater tank overflows, or bunding to prevent run-off from the shipping containers foundations reaching the proposed Effluent Management Area. Therefore, the proposal does not satisfy Part 3 Section 3.16 of the "GM DCP 2009".*

The submitted plans for the Review Application show suitable locations for the rainwater tank and energy dissipater. Bunding along the eastern edge of the shipping container has been noted on the plans.

As a result, Reason 12 of the refusal shall be removed.

13. *The proposal has not clearly labelled on plans the location of a dedicated rainwater tank or tanks to provide water for use inside the proposed dwelling. Therefore, the proposal does not satisfy Part 5 Section 5.3.1.2 of the "GM DCP 2009", or Council's Stormwater Drainage and Rainwater Collection Systems Policy.*

A 100kL water tank has been noted on the plans which identify that 65kL for domestic use and 45kL for firefighting purposes. A condition can be imposed requiring that a water outlet for the domestic supply be located at a point that allows for a minimum of 20kL for firefighting purposes.

As a result, Reason 13 of the refusal shall be removed.

14. *The proposal includes buffer and screening trees (radiata pine), that are considered invasive in rural settings, and are inconsistent with Council's list of preferred planting species. Therefore, the proposal does not satisfy Appendix B of the "GM DCP 2009".*

Landscape buffers will use a mixture of Wattle Tree (*Acacia Parramattensis*), Green Wattle Tree (*Acacia Devurrens*) and Tea Tree (*Leptospermum Polygalifolium*). The front screening trees will use Kurrajong (*Brachychiton Populneus*) while the shipping container will incorporate vegetation screening of Black Wattle. The condition of consent will require the shipping container to be painted in a similar colour to the dwelling being a light grey colour.

As a result, Reason 14 of the refusal shall be removed.

15. *The proposal is not in the public interest, as it has not demonstrated that landowners of neighbouring Lot 2 of DP 1116659 have agreed to the precise extent of boundary adjustment proposed. Therefore, the requirement to provide owners consent has not been satisfied.*

Landowners consent from the owners of 809 Covan Creek Road has been lodged with Council with the Review Application.

As a result, Reason 15 of the refusal shall be removed.

16. *The proposal having regard to the provisions of Section 4.15 of "the Act", is considered to be unsatisfactory and therefore, is not in the public interest.*

As a result of matters above being addressed, the application is considered satisfactory and in the public interest.

## Conclusion and Recommendation

The matters raised within the refusal notice under DA/0366/2223 have been addressed, therefore, it is considered that the proposed development is satisfactory. In conclusion, the recommendation is for the refusal to be set aside and for development consent to be granted subject to conditions.

**FINANCIAL IMPLICATIONS**

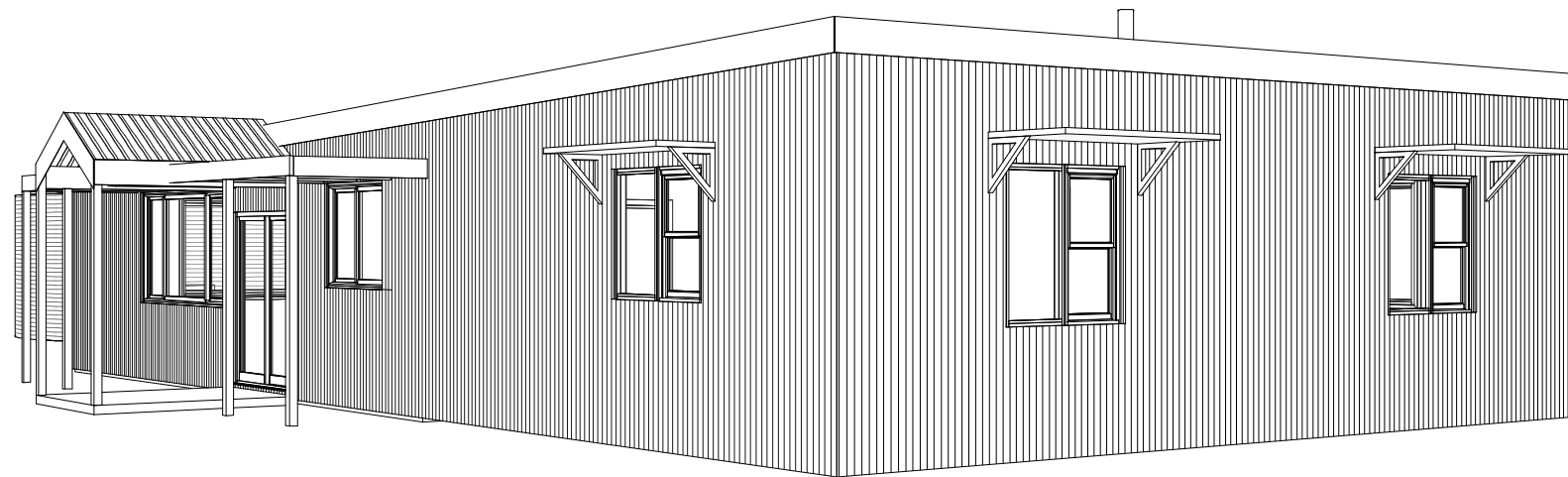
Financial implications to Council are likely if the Applicant is dissatisfied with the outcome and appeals the determination through the Land and Environment Court. However, the timeframe for such an appeal to be lodged is minimal, therefore, an appeal is not anticipated.

**LEGAL IMPLICATIONS**

Council may be in a position where it may be required to defend an appeal made by the Applicant to the Land and Environment Court, however, the timeframe for such an appeal to be lodged is minimal, therefore, an appeal is not anticipated.

# SHED CONVERSION TO DWELLING HOUSE AT LOT 3 DP 1116659 785 Covan Creek Road, Lake Bathurst, NSW, 2580 DETERMINATION REVIEW

DWG #	REV #	TITLE OF DRAWING
A-01	A	TITLE
A-02	A	GENERAL NOTES
A-03	A	SURVEY
A-04	A	SITE PLANS
A-05	A	FLOOR PLAN
A-06	A	ELEVATIONS
A-07	A	SECTION
A-08	A	WINDOW & DOOR DETAILS
A-09	A	BASIX
A-10	A	BAL 29 NOTES
A-11	A	SHIPPING CONTAINER DETAILS
A-12	A	PROPOSED SITE PLAN - BUFFER ZONE
A-13	A	PROPOSED ROOF PLAN



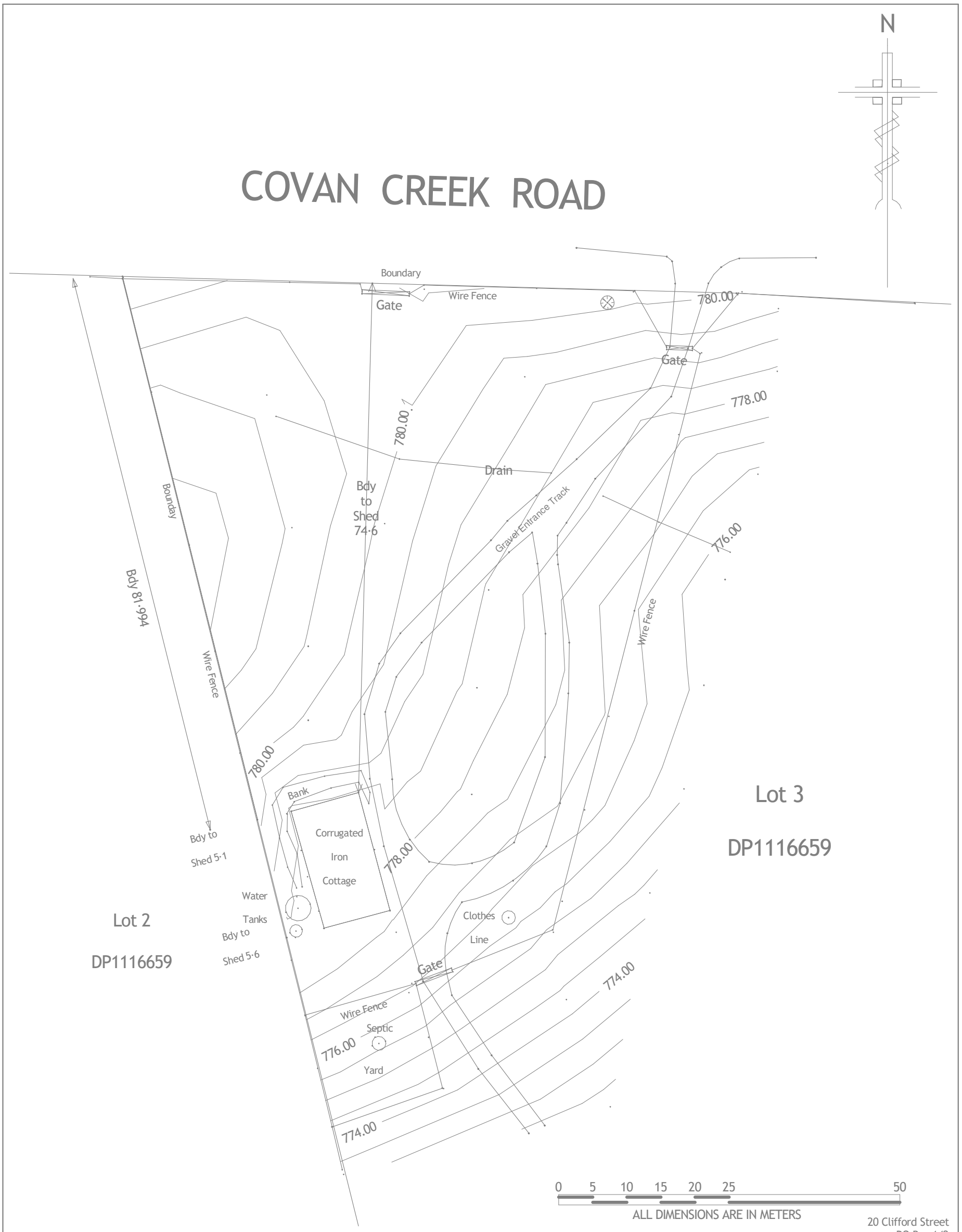
**1** VIEW FROM THE NORTH  
@ A3

ISSUED FOR  
**DETERMINATION REVIEW**  
**NOT FOR CONSTRUCTION**

<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE TITLE	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE	DRAWN BY EKH
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	AT SHEET SIZE A3 SHEET	JOB NUMBER 0621-1368	AMENDMENT ISSUE A
					DRAWING IDENTIFICATION NUMBER A-01		

<b>BCA (NCC) &amp; AUSTRALIAN STANDARDS COMPLIANCE NOTES</b>			<b>BCA (NCC) &amp; AUSTRALIAN STANDARDS COMPLIANCE NOTES</b>			<b>NOTES:</b>			<b>NOTES:</b>														
<p>BUILDER TO SHOW FULL COMPLIANCE WITH ALL <u>CURRENT</u> REQUIRED CODES, STANDARDS &amp; PARTS OF THE BCA (NCC), INCLUDING BUT NOT LIMITED TO THE FOLLOWING:</p> <p>BCA (NCC) SECTION 2.1 - STRUCTURE                      BCA (NCC) SECTION 2.2 - DAMP &amp; WEATHERPROOFING                      BCA (NCC) SECTION 2.3 - FIRE SAFETY                      BCA (NCC) SECTION 2.4 - HEALTH &amp; AMENITY                      BCA (NCC) SECTION 2.5 - SAFE MOVEMENT &amp; ACCESS                      BCA (NCC) SECTION 2.6 - ENERGY EFFICIENCY                      BCA (NCC) SECTION 3.0 - ACCEPTABLE CONSTRUCTION</p>			<p>AS 4773 : 2015 MASONRY IN SMALL BUILDINGS - DESIGN</p> <p>AS 5104 : 2017 GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES</p> <p>BCA (NCC) VOL. 2 PART 3.12.3 - BUILDING SEALING</p> <p>BCA (NCC) VOL. 2 PART 3.29 - SERVICES</p> <p>HB 28 : 1997 THE DESIGN OF RESIDENTIAL SLABS &amp; FOOTINGS</p> <p>HB 46 : 2010 THE DESIGN OF RESIDENTIAL SLABS &amp; FOOTINGS</p> <p>HB 111 : 1998 FIRE SAFETY IN THE HOME</p> <p>THE DOMESTIC KITCHEN HANDBOOK</p>			<p>ALL FLOOR LEVELS &amp; GROUND LEVELS ARE ASSUMED &amp; ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.</p> <p>IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.</p> <p>THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.</p> <p>ALL MATERIALS &amp; WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p>ALL MATERIALS &amp; WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.</p> <p>IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER <u>MUST</u> PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.</p> <p>THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.</p> <p>COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT &amp; ACCEPTANCE OF ALL SITE CONDITIONS &amp; THE SUPPLIED DOCUMENTATION.</p> <p>TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.</p> <p>ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED &amp; QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.</p> <p>PROVIDE ALL MATERIALS, LABOUR &amp; EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET &amp; ASSOCIATED DOCUMENTATION.</p> <p>GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.</p> <p>PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 &amp; 3660.2.</p> <p>INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.</p> <p>ALL WALLS TO BE WRAPPED IN ENVIROSEAL RESIDENTIAL WALL WRAP. ALL JOINTS TO BE LAPPED MIN. 300mm AND TAPED.</p> <p>RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.</p> <p>EXHAUSTS FROM BATHROOMS &amp; LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR.</p> <p>MECHANICAL VENTILATION &amp; LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p>ONCE WINDOWS ARE INSTALLED, CONTRACTOR TO SEAL WINDOW PERIMETERS WITH SPRAY FOAM TO GIVE FULLY AIR-TIGHT SEAL AGAINST FRAME. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p>SITE PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH ENGINEER'S DETAILS &amp; CURRENT EDITION OF AS2870 - RESIDENTIAL SLABS &amp; FOOTING CODE.</p>			<p>A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.</p> <p>PROVIDE LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS TO SATISFY THE REQUIREMENTS OF NCC 3.8.3.3 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.</p> <p>SELECTED CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL RW. LAP &amp; TAPE ALL JOINTS &amp; FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.</p> <p>ALL FIRST FLOOR WINDOWS TO HAVE A CHILD RESTRICTIVE OPENING DEVICE TO PREVENT THEM OPENING MORE THAN 120mm TO MEET D2.24 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p>ALL PAINT FINISHES (EXTERNAL AND INTERNAL) TO BE LEVEL 4 PAINT FINISH (MIN. 4 COATS), SEAL COAT, UNDERCOAT, 2 x TOP COATS.</p> <p><b>WET AREAS</b></p> <p>WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.</p> <p>THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.</p> <p>PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS &amp; REQUIREMENTS.</p> <p>INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p><b>TILING</b></p> <p>TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.</p> <p>APPROPRIATE TRIMS &amp; FINISH BEADS TO BE INSTALLED.</p> <p>SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED &amp; NEW MATCHING MATERIALS SUPPLIED &amp; LAID AT CONTRACTOR'S EXPENSE.</p>														
<p>AS/NZS 1170.2 : 2011 STRUCTURAL DESIGN ACTIONS - WIND ACTIONS</p> <p>AS 1288 : 2006 GLASS IN BUILDINGS BCA (NCC) CLAUSE B1.4 &amp; PART 3.1.4</p> <p>AS 1562 : 2018 DESIGN &amp; INSTALLATION OF SHEET ROOFING &amp; WALL CLADDING</p> <p>AS 1684.2 : 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2 - SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010).</p> <p>AS 1684.2 : 2012 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION</p> <p>AS 1668.2 : 2012 THE USE OF VENTILATION &amp; AIR-CONDITIONING IN BUILDINGS</p> <p>AS 2047 : 2014 GLAZING ASSEMBLIES &amp; BCA (NCC) B1.4 &amp; F1.13</p> <p>AS 2436 : 2010 GUIDE TO NOISE &amp; VIBRATION CONTROL ON CONSTRUCTION, DEMOLITION &amp; MAINTENANCE SITES</p> <p>AS/NZS 2589 : 2017 GYPSUM LININGS - APPLICATIONS &amp; FINISHING</p> <p>AS 2870 : 2011 RESIDENTIAL SLABS &amp; FOOTINGS</p> <p>AS/NZS 2904 : 1995 DAMP-PROOF COURSES &amp; FLASHINGS</p> <p>AS/NZS 3000 : 2018 ELECTRICAL INSTALLATIONS/WIRING</p> <p>AS/NZS 3008 : 2017 ELECTRICAL INSTALLATIONS</p> <p>AS/NZS 3012 : 2010 ELECTRICAL INSTALLATIONS - CONSTRUCTION &amp; DEMOLITION SITES</p> <p>AS/NZS 3500.3 : 2015 PLUMBING &amp; DRAINAGE - STORMWATER DRAINAGE</p> <p>AS 3660.1 : 2014 TERMITE MANAGEMENT PART 1 : NEW BUILDING WORK &amp; BCA (NCC) VOL. 2 PART 3.1.4</p> <p>AS 3666.1 : 2011 AIR HANDLING &amp; WATER SYSTEMS OF BUILDING - MICROBIAL CONTROL</p> <p>AS 3700 : 2018 MASONRY STRUCTURES</p> <p>AS 3727.1 : 2016 PAVEMENTS - RESIDENTIAL</p> <p>AS 3740 : 2010 WATERPROOFING OF DOMESTIC WET AREAS &amp; BCA (NCC) VOL. 2 PART 3.8.1</p> <p>AS 3786 : 2014 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION &amp; BCA (NCC) VOL. 2 PART 3.7.5</p> <p>AS 4055 : 2012 WIND LOADS FOR HOUSING</p> <p>AS 4349 : 2007 INSPECTION OF BUILDINGS</p> <p>AS/NZS 4654 : 2012 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE BCA (NCC) VOL. 2 PART 3.8.1</p>			<p><b>SCHEDULE OF FIRE SAFETY MEASURES</b></p> <p>EMERGENCY LIGHTING AS 2293.1, E4.2 &amp; E4.4 OF NCC                      PORTABLE FIRE EXTINGUISHERS AS 2444 &amp; E1.6 OF NCC                      FIRE BLANKETS AS 2444 &amp; E1.6 OF NCC                      EXIT DOORS D2.19, D2.20 &amp; D2.21 OF NCC                      NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.</p> <p><b>NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC. TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.</b></p> <p><b>CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.</b></p> <p><b>ASBESTOS REMOVAL NOTES (if found):</b></p> <p>- IF &amp; WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY &amp; A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.</p> <p>- THE ASSESSMENT, REMOVAL &amp; DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS &amp; "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH &amp; SAFETY ACT" (THE WHS ACT) &amp; THE "WORK HEALTH &amp; SAFETY REGULATIONS" (THE WHS REGULATIONS).</p> <p>- THE REMOVAL OF ASBESTOS IS TO BE ACCESSED &amp; CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.</p> <p>- THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.</p> <p>- DURING THE REMOVAL &amp; DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT &amp; DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES &amp; REGULATIONS.</p> <p><b>NOTES:</b></p> <p>ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS. ALL BUILDING WORKS, SIGNAGE, FITTINGS &amp; FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS 1428.1 &amp; BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p> <p>REGISTERED SURVEYOR TO ESTABLISH BOUNDARY &amp; SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.</p> <p>SUPPLY &amp; INSTALL ALL NECESSARY FITTINGS &amp; FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.</p>			<p>ISSUED FOR  <b>DETERMINATION REVIEW</b>  <b>NOT FOR CONSTRUCTION</b></p>																	
<p><b>DRAWING AMENDMENTS</b></p> <table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DETERMINATION REVIEW</td> <td>08/09/2023</td> </tr> </tbody> </table>			REVISION	DESCRIPTION	DATE	A	DETERMINATION REVIEW	08/09/2023	<p>PROJECT TITLE  <b>SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW</b></p> <p>CLIENT  <b>Rodney Karam</b></p> <p>Figured dimensions take precedence. Do not scale drawings.                      Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.                      All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.                      COPYRIGHT TIM LEE ARCHITECTS                      Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect. ©</p>			<p><b>TIM LEE ARCHITECTS</b>                      residential commercial industrial                      P: 02 4822 5934                      ABN: 71425067537                      ROSS PLACE                      GOULBURN NSW                      2580                      NOMINATED ARCHITECT:                      TIM LEE                      NSW REG: 7304                      ACT REG: 1030</p>			<p>DRAWING TITLE  <b>GENERAL NOTES</b></p> <p>LOT AND DEPOSITED PLAN NO.  <b>LOT 3 DP 1116659</b></p> <p>STREET ADDRESS  <b>785 Covan Creek Road, Lake Bathurst</b></p>			<p>DRAWING COMMENCED  <b>JUNE 2021</b></p> <p>DRAWING SCALE  <b>1 : 100</b>                      AT SHEET SIZE</p> <p><b>A3 SHEET</b></p> <p>DRAWING IDENTIFICATION NUMBER  <b>A-02</b></p>			<p>DRAWING VERIFIED BY  <b>TL</b></p> <p>DRAWN BY  <b>EKH</b></p> <p>JOB NUMBER  <b>0621-1368</b></p> <p>AMENDMENT ISSUE  <b>A</b></p>		
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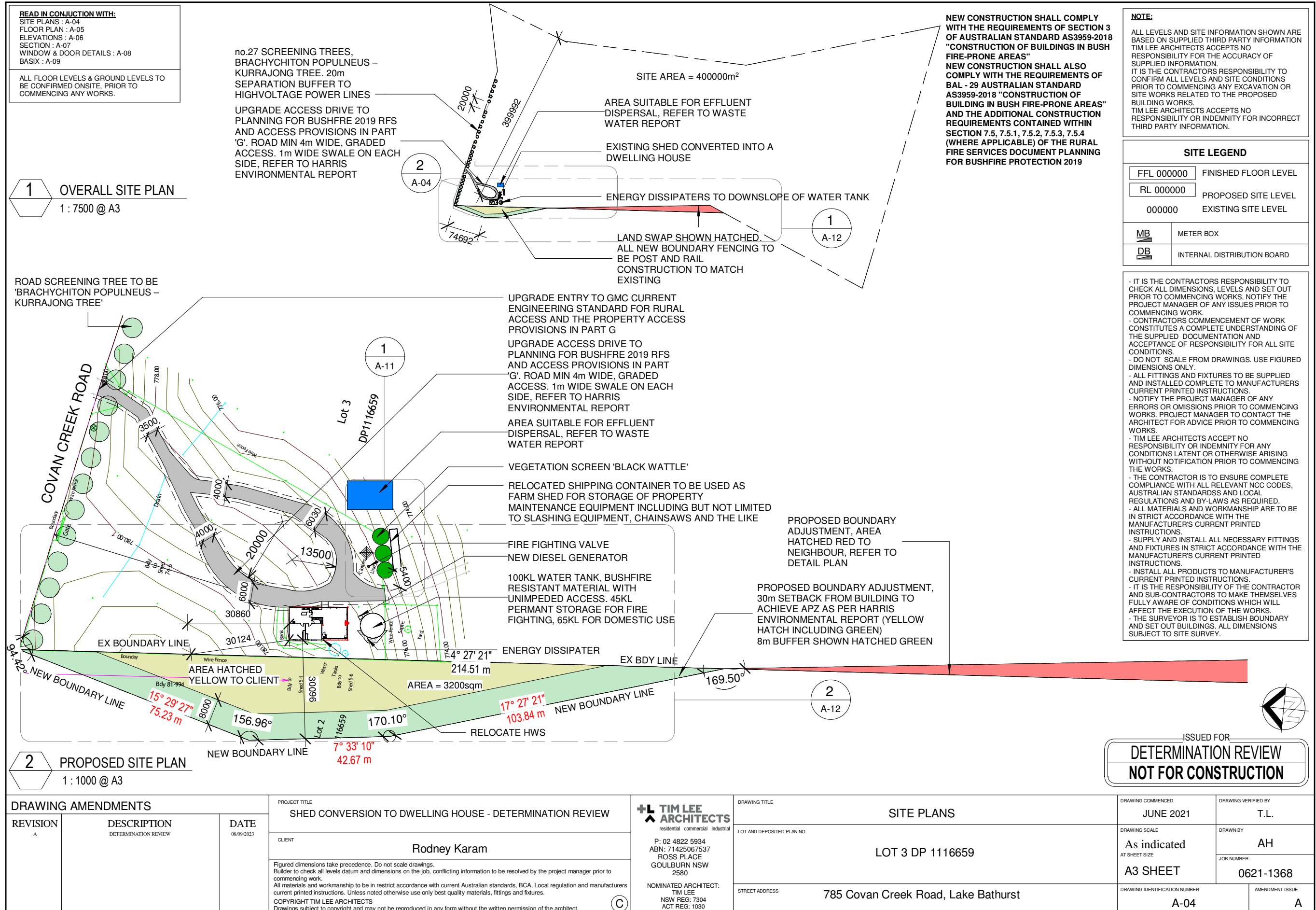


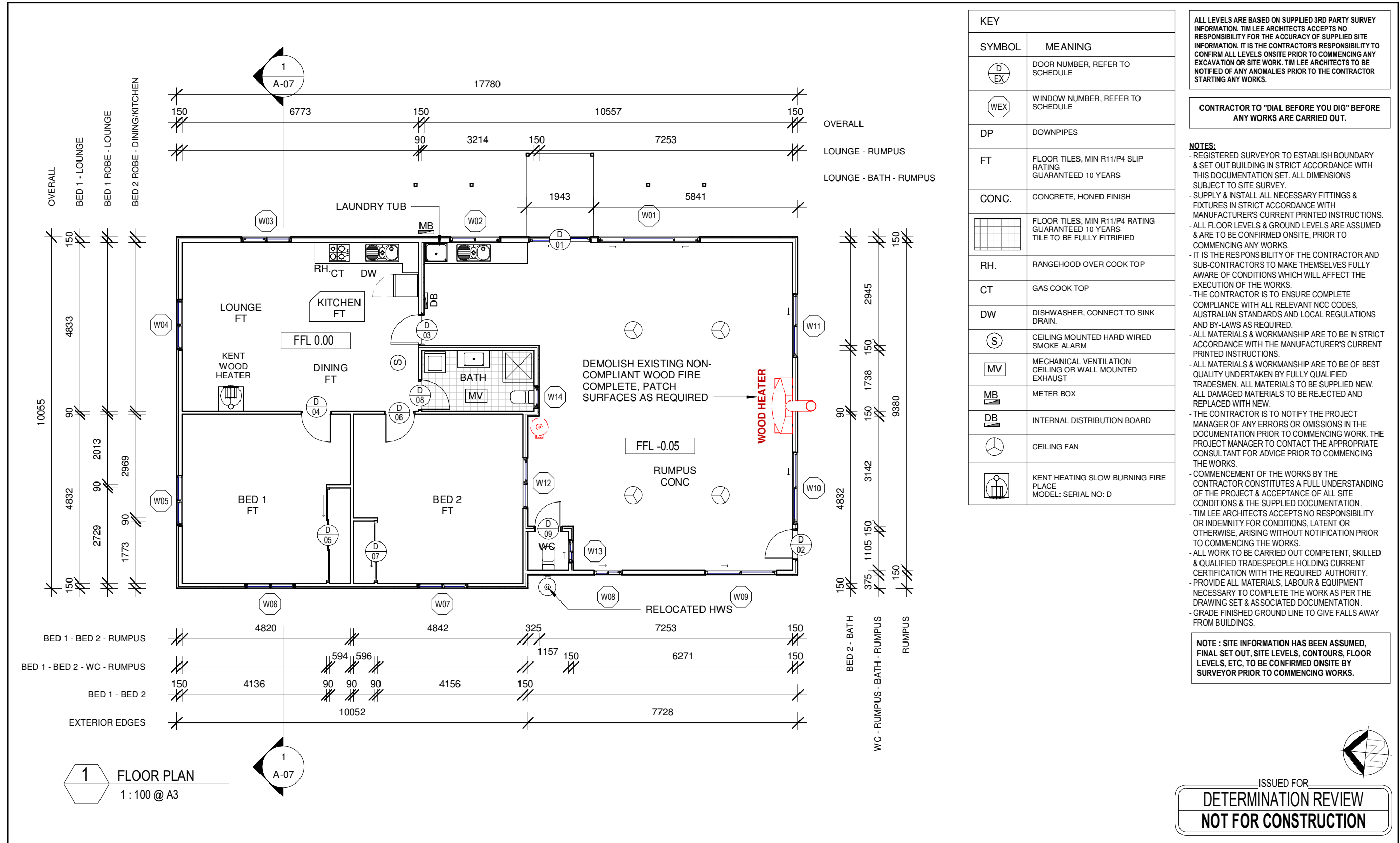


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 AZIMUTH - MGA  
 CONTOUR INTERVAL - 0.5m  
 DATUM - AHD (CORSNET)  
 DATE - 6 AUGUST 2021  
 REF - 24518

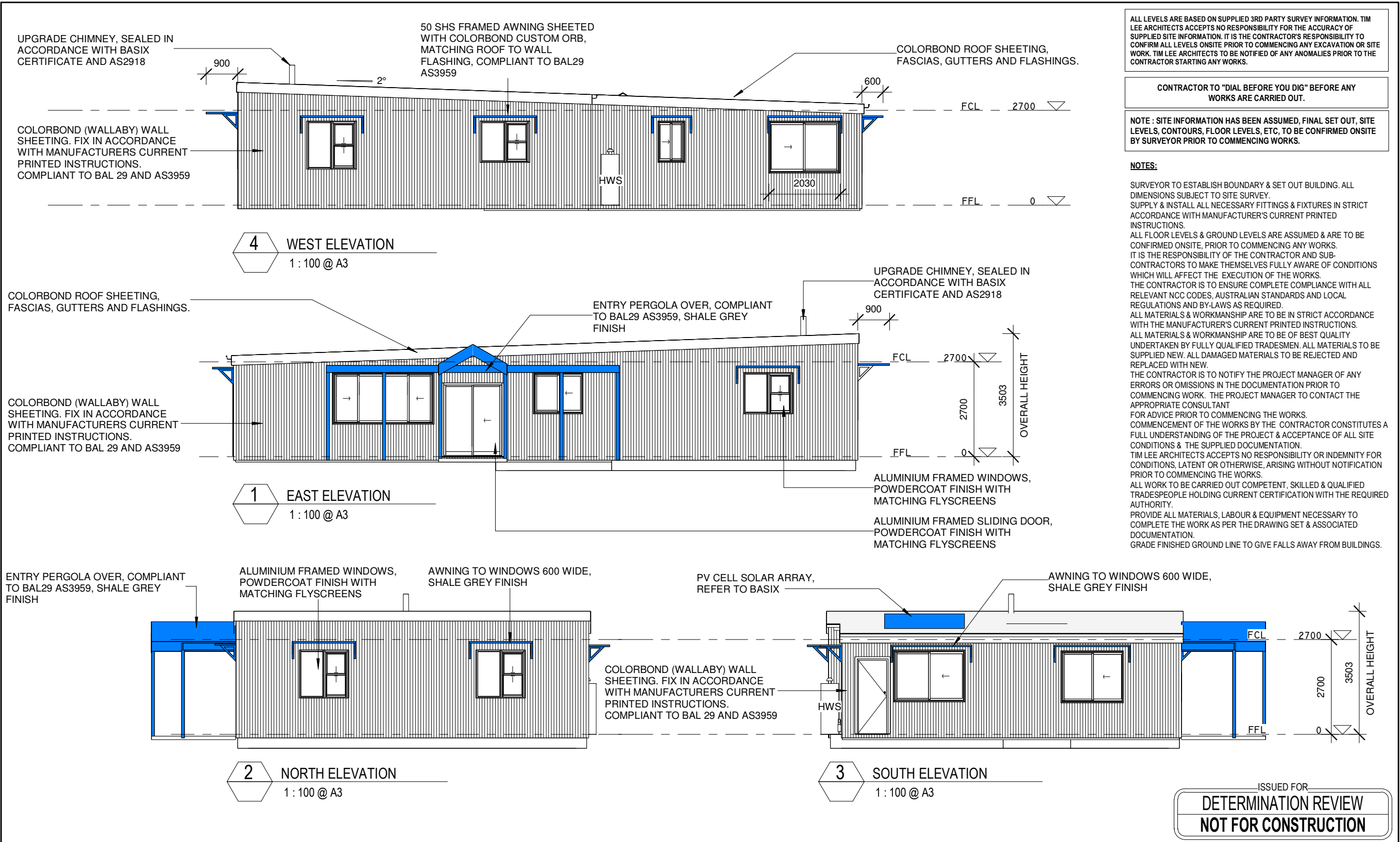
PLAN SHOWING  
 COTTAGE IN RELATION TO BOUNDARY  
 SITE  
 ADDRESS: 785 COVAN CREEK ROAD, LAKE BATHURST  
 TITLE  
 DETAILS: LOT 3 DP1116659

20 Clifford Street  
 PO Box 142  
 GOULBURN  
 NSW 2580  
 T: 02 4822 1366  
 F: 02 4822 1365  
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 admin@scsurveyors.com.au





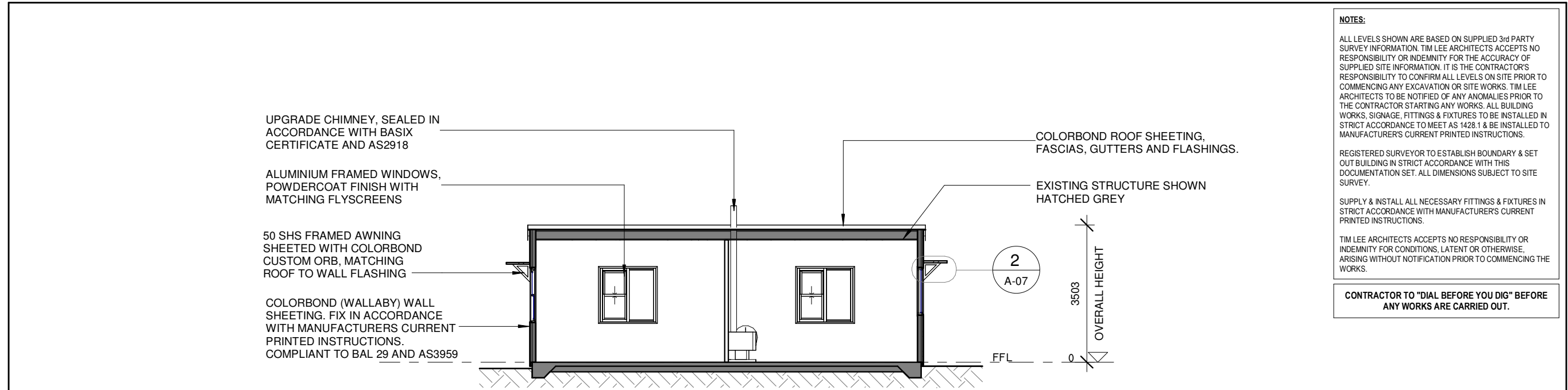
<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE FLOOR PLAN	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE 1 : 100 AT SHEET SIZE	DRAWN BY EKH
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	A3 SHEET	JOB NUMBER 0621-1368	AMENDMENT ISSUE A



<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE ELEVATIONS	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY T.L.
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE 1 : 100 AT SHEET SIZE	DRAWN BY EKH
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					DRAWING IDENTIFICATION NUMBER A-06	AMENDMENT ISSUE A	

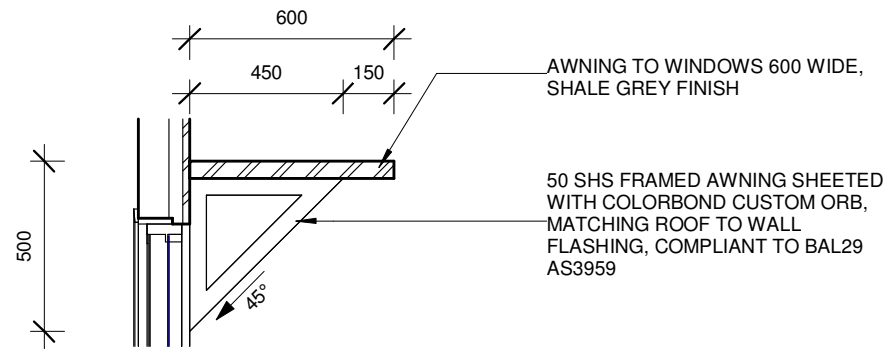
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**NOTE: ASSUMED CONSTRUCTION ONLY. REFER TO SUPPLIED TRADE AND ENGINEERS CERTIFICATIONS FOR COMPLIANCE AND FOR STRUCTURAL INTEGRITY**

**1** SECTION A-A  
1 : 100 @ A3



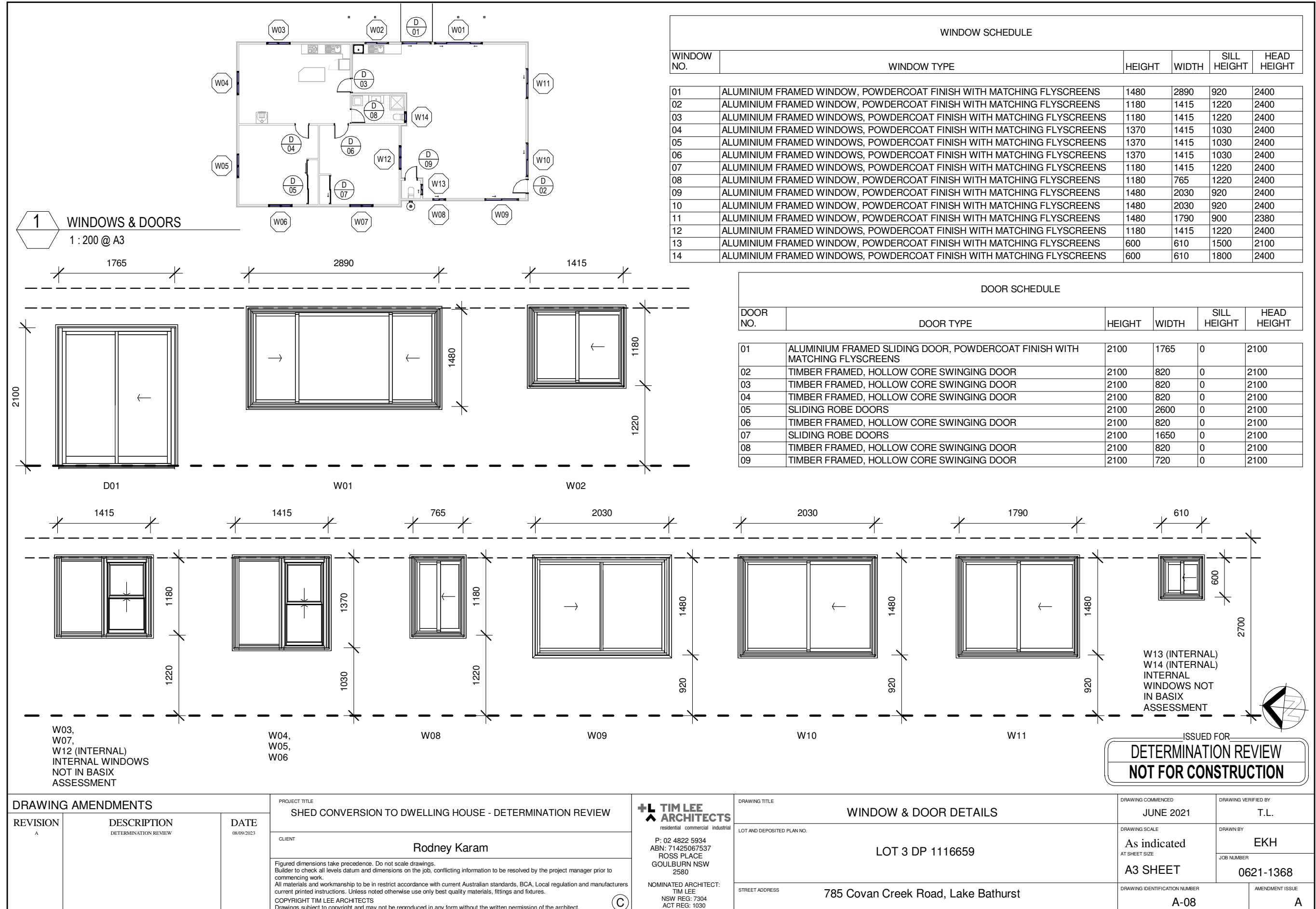
**2** AWNING DETAIL  
1 : 20 @ A3

**NOTES:**  
ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS. ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS 1428.1 & BE INSTALLED TO MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.  
REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.  
SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.  
TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.  
**CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.**

**NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.**

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<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE SECTION	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET	DRAWN BY EKH
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>				STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	DRAWING IDENTIFICATION NUMBER A-07	AMENDMENT ISSUE A	



**Schedule of BASIX commitments**

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 183.02 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- all toilets in the development		✓	✓
- the cold water tap that supplies each clothes washer in the development		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
- all hot water systems in the development		✓	✓
- all indoor cold water taps (not including taps that supply clothes washers) in the development		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
- For the following glass and frame types, the certifier check can be performed by visual inspection:			✓
- Aluminium single clear		✓	✓
- Aluminium double (air) clear		✓	✓
- Timber/UPVC/fibreglass single clear		✓	✓
- Timber/UPVC/fibreglass double (air) clear		✓	✓
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
- Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not exceed the height of the battens.		✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W05	1370	1415	aluminium, single, clear	pergola (fixed battens) 900 mm, 100 mm above head of window or glazed door	not overshadowed
W04	1370	1415	aluminium, single, clear	pergola (fixed battens) 900 mm, 100 mm above head of window or glazed door	not overshadowed
<b>East facing</b>					


Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
<b>Cooling system</b>			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater. Energy rating: n/a		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The wood heater must have a compliance plate confirming that it complies with the relevant Australian standards, and must be installed in accordance with the requirements of all applicable regulatory authorities.		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry. Operation control: n/a		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
- at least 2 of the bedrooms / study: dedicated		✓	✓
- at least 2 of the living / dining rooms: dedicated		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>	<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>	
floor - concrete slab on ground	n/a		
external wall - framed (weatherboard, fibre cement, metal clad)	2.40 (or 2.80 including construction)		
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4 (up), roof: foilsarking	framed; dark (solar absorbance > 0.70)	
Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W03	1180	1415	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
W01	1480	2890	aluminium, single, clear	pergola (fixed battens) 1500 mm, 300 mm above head of window or glazed door	not overshadowed
W02	1180	1415	aluminium, single, clear	pergola (fixed battens) 1500 mm, 300 mm above head of window or glazed door	not overshadowed
D01	2100	1765	aluminium, single, clear	pergola (fixed battens) 450 mm, 435 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W10	1480	2030	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
W11	1480	1790	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W06	1370	1415	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
W08	1180	765	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
W07	1180	1415	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed
W09	1480	2030	aluminium, single, clear	pergola (fixed battens) 600 mm, 100 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
- the kitchen: dedicated		✓	✓
- all bathrooms/toilets: dedicated		✓	✓
- the laundry: dedicated		✓	✓
- all hallways: dedicated		✓	✓
<b>Alternative energy</b>			
The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
<b>Other</b>			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

SITE AREA	401531.97 m <sup>2</sup>
ROOF AREA	184.63 m <sup>2</sup>
CONDITIONED FLOOR AREA	160.79 m <sup>2</sup>
UNCONDITIONED FLOOR AREA	5.59 m <sup>2</sup>


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REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE	DRAWN BY EKH
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					DRAWING IDENTIFICATION NUMBER A-09	AMENDMENT ISSUE A	

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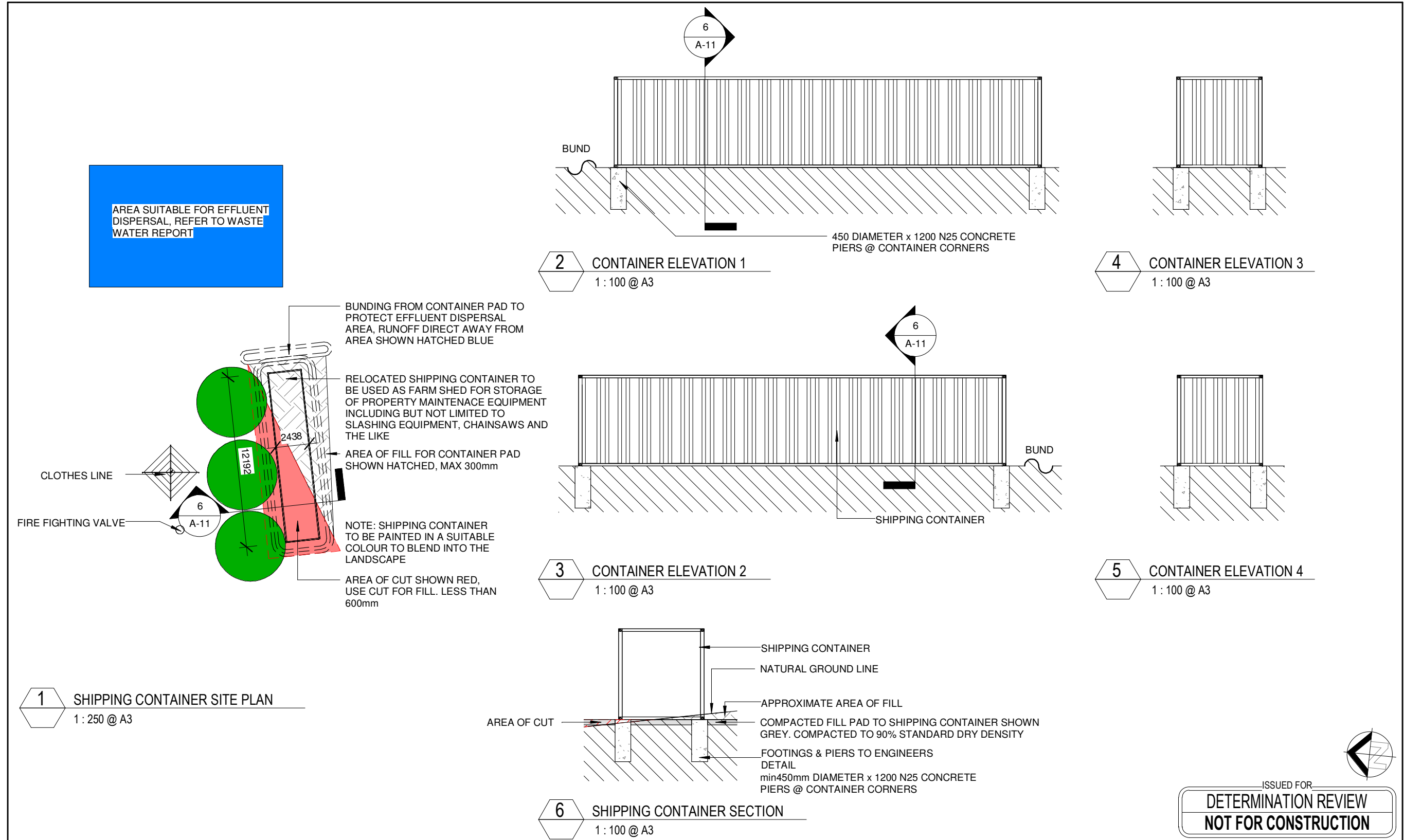


<p><b>BAL 29 COMPLIANCE NOTES</b></p> <p>THE DEVELOPMENT IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS-3959 "CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS" 2018, BUSHFIRE ATTACK LEVEL (BAL) 29 "PLANNING FOR BUSHFIRE PROTECTION" 2019.</p> <p>A BUILDING ASSESSED IN SECTION 2 OF AS-3959:2018 AS BEING BAL-29 SHALL CONFORM WITH SECTION 3 &amp; CLAUSES 7.2 TO 7.8 OF AS-3959:2018.</p> <p>THE FOLLOWING NOTES ARE A GUIDE ONLY, CONFIRM ALL BAL 29 COMPLIANCE REQUIREMENTS WITH AS-3959.</p> <p><b>7.2 SUB-FLOOR SUPPORTS</b></p> <p>THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR SUBFLOOR SUPPORTS WHERE THE SUBFLOOR SPACE IS ENCLOSED WITH:</p> <p><b>TYPE 1 :</b> BAL 29 COMPLIANT FULL MASONRY WALL (RETAINING WALL TO CARPORT) TO MEET AS-3959 : CLAUSE 7.2 &amp; 7.4.</p> <p><b>TYPE 2 :</b> BAL 29 COMPLIANT SUBFLOOR SCREENING EQUAL TO BRONZE WIRE MESH MAX. APPERTURE 2mm. TO MEET AS-3959 : CLAUSE 7.2.</p> <p><b>7.3 FLOORS</b></p> <p><b>7.3.1 GENERAL (N/A)</b></p> <p><b>7.3.2 ELEVATED FLOORS</b></p> <p><b>7.3.2.1 ENCLOSED SUBFLOOR SPACE</b></p> <p>THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR ELEVATED FLOORS, INCLUDING BEARERS, JOISTS &amp; FLOORING, WHERE SUBFLOOR SPACE IS ENCLOSED WITH:</p> <p><b>TYPE 1 :</b> BAL 29 COMPLIANT FULL MASONRY WALL (RETAINING WALL TO CARPORT) TO MEET AS-3959 : CLAUSE 7.2 &amp; 7.4.</p> <p><b>TYPE 2 :</b> BAL 29 COMPLIANT SUBFLOOR SCREENING EQUAL TO BRONZE WIRE MESH MAX. APPERTURE 2mm. TO MEET AS-3959 : CLAUSE 7.2.</p> <p><b>7.3.2.2 UNENCLOSED SUBFLOOR SPACE (N/A)</b></p> <p><b>7.4 WALLS</b></p> <p><b>7.4.1 GENERAL</b></p> <p>THE EXPOSED COMPONENTS OF EXTERNAL WALLS SHALL BE AS FOLLOWS :</p> <p><b>TYPE 1 :</b> CLADDING THAT IS FIXED EXTERNALLY TO A TIMBER-FRAMED OR A STEEL FRAMED WALL THAT IS SARKED ON THE OUTSIDE OF THE FRAME AND IS STEEL SHEET.</p> <p><b>TYPE 2 :</b> TIMBER PERGOLA SCREEN TO BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER.</p> <p><b>7.4.2 JOINTS</b></p> <p>ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED.</p> <p><b>7.4.3 VENTS &amp; WEEPHOLES</b></p> <p>EXCEPT FOR EXCLUSIONS PROVIDED IN CLAUSE 3.6, VENTS &amp; WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESH MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.</p> <p><b>7.5 EXTERNAL GLAZED ELEMENTS, ASSEMBLIES &amp; DOORS</b></p> <p><b>7.5.1 BUSHFIRE SHUTTERS (N/A)</b></p> <p><b>7.5.2 SCREENS FOR WINDOWS &amp; DOORS</b></p> <p><b>SCREENS :</b> WHERE FITTED, SCREENS FOR WINDOWS &amp; DOORS SHALL HAVE A MESH OR PERFORATED SHEET MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM. THE FRAME SUPPORTING THE MESH OR PERFORATED SHEET SHALL BE MADE FROM METAL OR BUSHFIRE-RESISTING TIMBER. SCREEN ASSEMBLIES SHALL BE ATTACHED USING METAL FIXINGS.</p>	<p><b>7.5.3 WINDOWS &amp; SIDELIGHTS</b></p> <p><b>WINDOW ASSEMBLIES :</b> TO CONFORM WITH A COMBINATION OF BUSHFIRE-RESISTING TIMBER &amp;/OR METAL &amp;/OR METAL-REINFORCED UPVC &amp; THE REINFORCING MEMBERS SHALL BE MADE FROM ALUMINIUM, STAINLESS STEEL OR CORROSION-RESISTANT STEEL.</p> <p><b>HARDWARE :</b> EXTERNALLY FITTED HARDWARE THAT SUPPORTS THE SASH IN ITS FUNCTIONS OF OPENING &amp; CLOSING SHALL BE METAL.</p> <p><b>TRIMS :</b> TRIMS OR OTHER COMPONENTS MAY USE MATERIAL OTHER THAN METAL.</p> <p><b>GLAZING :</b> GLAZING SHALL BE TOUGHENED GLASS A MINIMUM OF 5mm THICKNESS OR GLASS BLOCKS WITH NO RESTRICTION ON GLAZING METHODS.</p> <p><b>NOTE :</b> WHERE DOUBLE-GLAZED ASSEMBLIES ARE USED, THE REQUIREMENTS APPLY TO THE EXTERNAL PANE OF THE GLAZED ASSEMBLY ONLY.</p> <p><b>SEALS &amp; WEATHER STRIPS :</b> THERE ARE NO SPECIFIC REQUIREMENTS FOR SEALS &amp; WEATHER STRIPS AT THIS BAL LEVEL.</p> <p><b>SCREENS :</b> WHERE GLAZING IS LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS &amp; SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18 DEGREES TO THE HORIZONTAL &amp; EXTENDING MORE THAN 110mm IN WIDTH FROM THE WINDOW FRAME (SEE AS-3959 : FIGURE D3, APPENDIX D), THE GLAZING SHALL BE SCREENED EXTERNALLY WITH A SCREEN THAT CONFORMS WITH AS-3959 : CLAUSE 3.6 &amp; CLAUSE 7.5.2.</p> <p><b>SCREENS :</b> IN ALL OTHER CASES EXCEPT FOR AS-3959 : CLAUSE 7.5.3 (b) (v) THE OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY WITH SCREENS THAT CONFORM WITH AS-3959 : CLAUSE 3.6 &amp; CLAUSE 7.5.2.</p> <p><b>7.5.4 DOOR - SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD &amp; BI-FOLD DOORS)</b></p> <p><b>DOORS :</b> TO BE COMPLETELY PROTECTED EXTERNALLY BY SCREENS THAT CONFORM WITH AS-3959 : CLAUSE 3.6 &amp; CLAUSE 7.5.2.</p> <p><b>7.5.5 DOORS - SLIDING DOORS (N/A)</b></p> <p><b>7.5.6 DOORS - VEHICLE ACCESS DOORS (GARAGE DOORS) (N/A)</b></p> <p><b>7.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS &amp; GABLES, &amp; GUTTERS &amp; DOWNPIPES)</b></p> <p><b>7.6.1 GENERAL</b></p> <p>THE FOLLOWING APPLIES TO ALL TYPES OF ROOFS &amp; ROOFING SYSTEMS:</p> <p>(a) ROOF TILES, ROOF SHEETS &amp; ROOF-COVERING ACCESSORIES SHALL BE NON-COMBUSTIBLE.</p> <p>(b) THE ROOF/WALL &amp; ROOF/ROOF JUNCTION SHALL BE SEALED OR OTHERWISE PROTECTED IN ACCORDANCE WITH AS-3959 : CLAUSE 3.6.</p> <p>(c) ROOF VENTILATION OPENINGS, SUCH AS GABLE &amp; ROOF VENTS, SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET CONFORMING WITH AS-3959 : CLAUSE 3.6 &amp; MADE OF CORROSION-RESISTENT STEEL, BRONZE OR ALUMINIUM.</p> <p>(d) A PIPE OR CONDUIT THAT PENETRATES THE ROOF COVERING SHALL BE NON-COMBUSTIBLE.</p> <p>(e) ONLY EVAPORATIVE COOLERS MANUFACTURED IN ACCORDANCE WITH AS/NZS 60335.2.98 SHALL BE USED. EVAPORATIVE COOLERS WITH AN INTERNAL DAMPER TO PREVENT THE ENTRY OF EMBERS INTO THE ROOF SPACE NEED NOT BE SCREENED EXTERNALLY.</p> <p><b>7.6.2 TILED ROOF (N/A)</b></p> <p><b>7.6.3 SHEET ROOFS</b></p> <p>SHEET ROOFS SHALL :</p> <p>(a) BE FULLY SARKED IN ACCORDANCE WITH AS-3959 : CLAUSE 7.6.2, EXCEPT THAT FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER THE BATTENS; OR</p> <p>(b) HAVE ANY GAPS SEALED AT THE FASCIA OR WALL LINE, HIPS &amp; RIDGES BY:</p> <p>(i) A MESH OR PERFORATED SHEET THAT CONFORMS WITH AS-3959 : CLAUSE 3.6 &amp; THAT IS MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM; OR</p> <p>(ii) MINERAL WOOL; OR</p> <p>(iii) OTHER NON-COMBUSTIBLE MATERIAL; OR</p> <p>(iv) A COMBINATION OF ANY OF ITEMS (i), (ii) OR (iii).</p> <p><b>NOTE :</b> C7.6.3 SARKING IS USED AS A SECONDARY FORM OF EMBER PROTECTION FOR THE ROOF SPACE TO ACCOUNT FOR MINOR GAPS THAT MAY DEVELOP IN SHEET ROOFING.</p> <p><b>7.6.4 VERANDAH, CARPORT &amp; AWNING ROOF</b></p> <p>(a) A VERANDAH, CARPORT OR AWNING ROOF FORMING PART OF THE MAIN ROOF SPACE (SEE AS-3959 : FIGURE D1(a), APPENDIX D) SHALL MEET ALL THE REQUIREMENTS FOR THE MAIN ROOF, AS SPECIFIED IN AS-3959 : CLAUSE 7.6.1 TO 7.6.6.</p> <p><b>7.6.5 ROOF PENETRATIONS</b></p> <p>THE FOLLOWING APPLIES TO ROOF PENETRATIONS:</p> <p>(a) ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF-MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES &amp; SUPPORTS FOR SOLAR COLLECTORS OR THE LIKE, SHALL BE SEALED. THE MATERIAL USED TO SEAL THE PENETRATIONS SHALL BE NON-COMBUSTIBLE.</p> <p>(b) OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL CONFORM WITH AS-3959 : CLAUSE 3.6 AN DBE MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.</p> <p>(h) EAVE LIGHTING SHALL BE ADEQUATELY SEALED &amp; NOT COMPROMISE THE PERFORMANCE OF THE ELEMENT.</p> <p><b>7.6.6 EAVES LININGS, FASCIAS &amp; GABLES</b></p> <p><b>GABLES :</b> SHALL CONFORM WITH AS-3959 : CLAUSE 7.4.</p> <p><b>FASCIAS &amp; BARGEBOARDS :</b> SHALL BE A COMBINATION OF BUSH-FIRE RESISTING TIMBER (SEE AS-3959 : APPENDIX F) &amp;/OR METAL FIXED AT 450 CENTRES.</p> <p><b>EAVE LININGS :</b> SHALL BE A COMBINATION OF FIBRE-CEMENT SHEET, MIN. THICKNESS 4.5mm &amp;/OR BUSH-FIRE RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>EAVE PENETRATIONS :</b> SHALL BE PROTECTED AS FOR ROOF PENETRATIONS AS SPECIFIED IN AS-3959 : CLAUSE 7.6.5.</p> <p><b>EAVE VENTILATION OPENINGS :</b> SHALL BE FITTED WITH EMBER GUARDS IN ACCORDANCE WITH AS-3959 : CLAUSE 3.6 &amp; MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.</p> <p><b>JOINTS IN EAVES LININGS, FASCIAS &amp; GABLES :</b> MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.</p> <p><b>7.6.7 GUTTERS &amp; DOWNPIPES</b></p> <p>THIS STANDARD DOES NOT PROVIDE REQUIREMENTS FOR DOWNPIPES. IF INSTALLED, GUTTER &amp; VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE. GUTTERS SHALL BE METAL OR uPVC.</p> <p><b>7.7 VERANDAHS, DECKS, STEPS &amp; LANDINGS</b></p> <p><b>7.7.1 GENERAL</b></p> <p>DECKING MAY BE SPACED. THERE IS NO REQUIREMENT TO ENCLOSE THE SUBFLOOR SPACES OF VERANDAHS, DECKS, STEPS, RAMPS OR LANDINGS.</p> <p>(C7.7.1 SPACED DECKING IS NOMINALLY SPACED AT 3mm (IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE); HOWEVER, DUE TO THE NATURE OF TIMBER DECKING WITH SEASONAL CHANGES IN MOISTURE CONTENT, THAT SPACING MAY RANGE FROM 0mm-5mm DURING SERVICE. IT SHOULD BE NOTED THAT RECENT RESEARCH STUDIES HAVE SHOWN THAT GAPS AT 5mm SPACING AFFORD OPPORTUNITY FOR EMBERS TO BECOME ...</p>	<p>... LODGED IN BETWEEN TIMBERS, WHICH MAY CONTRIBUTE TO A FIRE. LARGER GAP SPACING OF 10mm MAY PRECLUDE THIS FROM HAPPENING BUT SUCH A SPACING REGIME MAY NOT BE PRACTICAL FOR A TIMBER DECK.</p> <p><b>7.7.2 ENCLOSED SUBFLOOR SPACES OF VERANDAHS, DECKS, STEPS, RAMPS &amp; LANDINGS</b></p> <p><b>7.7.2.1 MATERIALS TO ENCLOSE A SUBFLOOR SPACE</b></p> <p>THE SUBFLOOR SPACES OF VERANDAHS, DECKS, STEPS, RAMPS &amp; LANDINGS ARE DEEMED TO BE 'ENCLOSED' WHEN :</p> <p>(a) THE MATERIAL USED TO ENCLOSE THE SUBFLOOR SPACE CONFORMS WITH AS-3959 : CLAUSE 7.4.1 (c) ; AND</p> <p>(b) ALL OPENINGS ARE PROTECTED IN ACCORDANCE WITH AS-3959 : CLAUSE 3.6 AND MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.</p> <p><b>7.7.2.2 SUPPORTS</b></p> <p>THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR SUPPORT POSTS, COLUMNS, STUMPS, STRINGERS, PIERS &amp; POLES.</p> <p><b>7.7.2.3 FRAMING</b></p> <p>THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR THE FRAMING OF VERANDAHS, PERGOLAS, DECKS, RAMPS OR LANDINGS (i.e. BEARERS &amp; JOISTS).</p> <p><b>7.7.2.4 DECKING, STAIR TREADS &amp; THE TRAFFICABLE SURFACES OF RAMPS &amp; LANDINGS</b></p> <p><b>DECKING, STAIR TREAD &amp; TRAFFICABLE SURFACES OF RAMPS &amp; LANDINGS :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.7.3 UNENCLOSED SUBFLOOR SPACES OF VERANDAHS, DECKS, STEPS, RAMPS &amp; LANDINGS</b></p> <p><b>7.7.3.1 SUPPORTS</b></p> <p><b>SUPPORT POSTS, COLUMNS, STUMPS, STRINGERS, PIERS &amp; POLES :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.7.3.2 FRAMING</b></p> <p><b>FRAMING OF VERANDAHS, DECKS, RAMPS OR LANDINGS (i.e. BEARERS &amp; JOISTS) :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.7.3.3 DECKING, STAIR TREADS &amp; THE TRAFFICABLE SURFACES OF RAMPS &amp; LANDINGS</b></p> <p><b>DECKING, STAIR TREAD &amp; TRAFFICABLE SURFACES OF RAMPS &amp; LANDINGS :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.7.4 BALUSTRADES, HANDRAILS OR OTHER BARRIERS</b></p> <p><b>THOSE PARTS OF THE HANDRAILS &amp; BALUSTRADES LESS THAN 125mm FROM ANY GLAZING OR ANY COMBUSTIBLE WALL :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.7.5 VERANDAH POST</b></p> <p><b>VERANDAH POSTS :</b> SHALL BE A COMBINATION OF NON-COMBUSTIBLE MATERIAL &amp;/OR BUSHFIRE-RESISTING TIMBER (SEE AS-3959 : APPENDIX F).</p> <p><b>7.8 WATER &amp; GAS SUPPLY PIPES</b></p> <p>ABOVE-GROUND, EXPOSED WATER SUPPLY PIPES SHALL BE METAL. IF INSTALLING GAS, REFER TO AS-3959 : CLAUSE 7.8 FOR REQUIREMENTS.</p>
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ISSUED FOR  
**DETERMINATION REVIEW**  
**NOT FOR CONSTRUCTION**

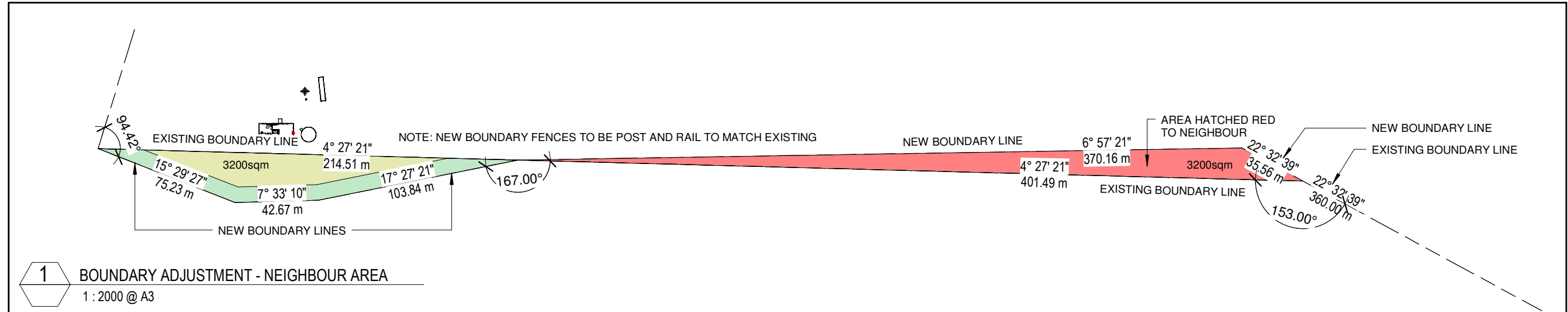
<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	 <p><b>TIM LEE ARCHITECTS</b>                  residential commercial industrial                  P: 02 4822 5934                  ABN: 71425067537                  ROSS PLACE                  GOULBURN NSW                  2580                  NOMINATED ARCHITECT:                  TIM LEE                  NSW REG: 7304                  ACT REG: 1030</p>	DRAWING TITLE BAL 29 NOTES	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE 1 : 100 AT SHEET SIZE	DRAWN BY AH
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			Figure dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	DRAWING IDENTIFICATION NUMBER A-10	JOB NUMBER 0621-1368



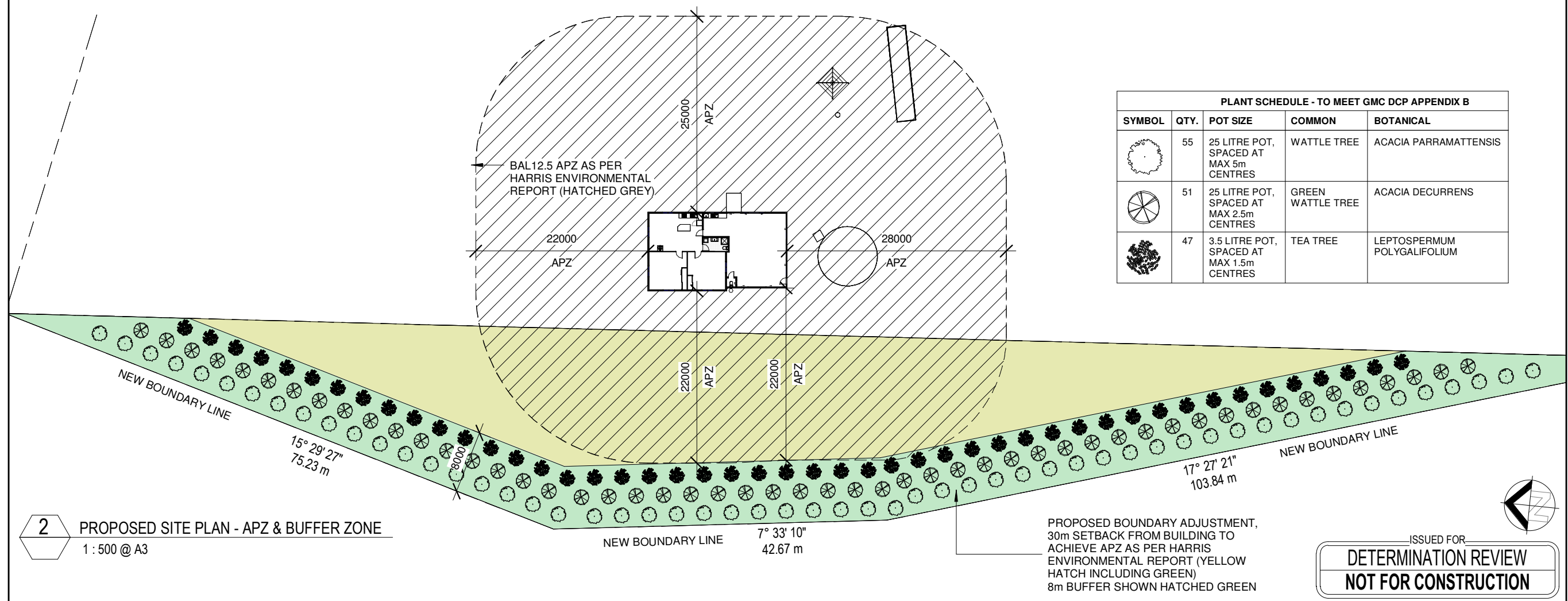


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**DETERMINATION REVIEW**  
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DRAWING AMENDMENTS			PROJECT TITLE	<b>TIM LEE ARCHITECTS</b> <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW		SHIPPING CONTAINER DETAILS	JUNE 2021	TL
			CLIENT Rodney Karam	LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET	DRAWN BY AH	
			<small>Figured dimensions take precedence. Do not scale drawings.                      Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.                      All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.                      COPYRIGHT TIM LEE ARCHITECTS                      Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	DRAWING IDENTIFICATION NUMBER A-11	JOB NUMBER 0621-1368	
						AMENDMENT ISSUE A	



**1** BOUNDARY ADJUSTMENT - NEIGHBOUR AREA  
1 : 2000 @ A3

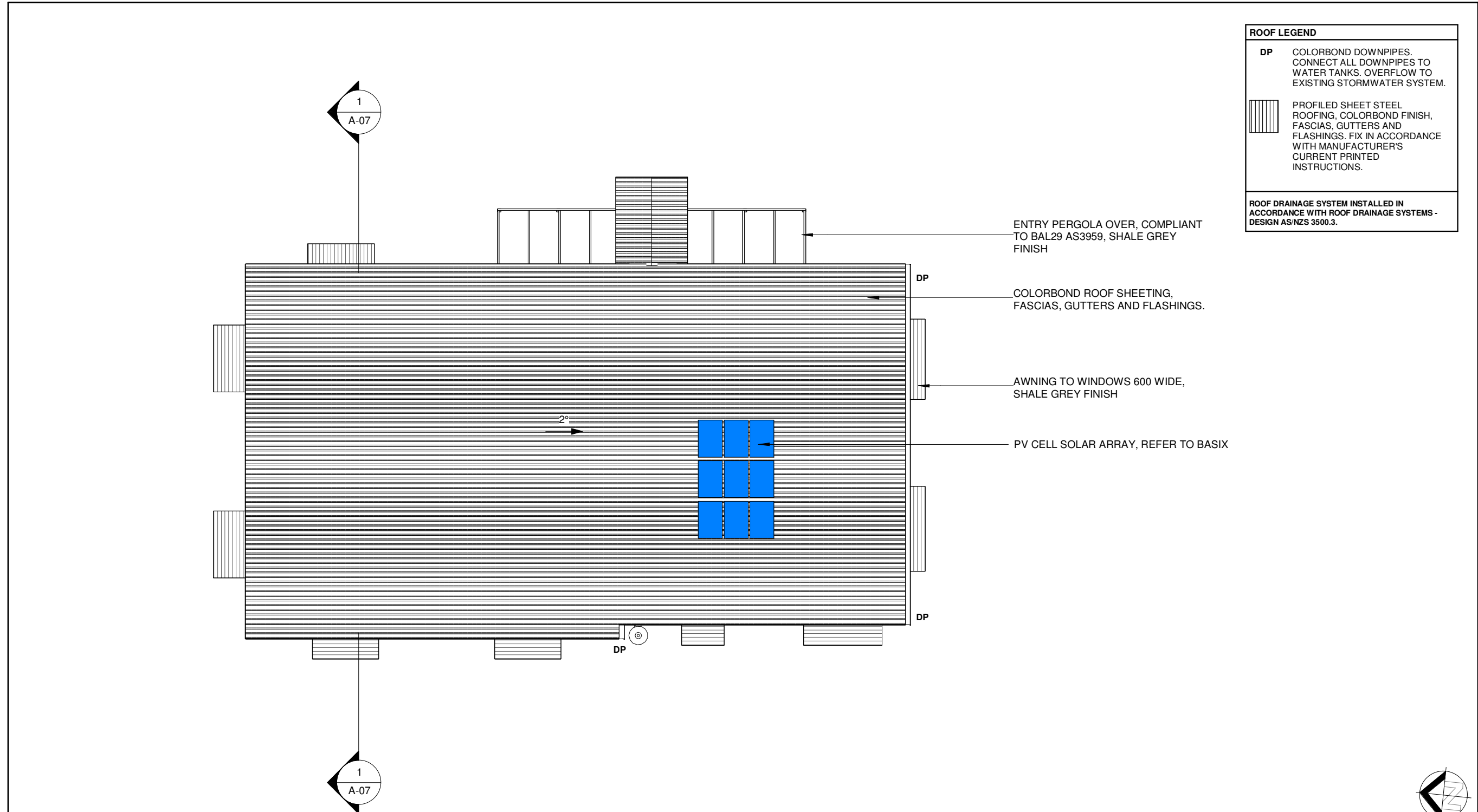


PLANT SCHEDULE - TO MEET GMC DCP APPENDIX B				
SYMBOL	QTY.	POT SIZE	COMMON	BOTANICAL
	55	25 LITRE POT, SPACED AT MAX 5m CENTRES	WATTLE TREE	ACACIA PARRAMATTENSIS
	51	25 LITRE POT, SPACED AT MAX 2.5m CENTRES	GREEN WATTLE TREE	ACACIA DECURRENS
	47	3.5 LITRE POT, SPACED AT MAX 1.5m CENTRES	TEA TREE	LEPTOSPERMUM POLYGALIFOLIUM

**2** PROPOSED SITE PLAN - APZ & BUFFER ZONE  
1 : 500 @ A3

ISSUED FOR  
**DETERMINATION REVIEW**  
**NOT FOR CONSTRUCTION**

<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED SITE PLAN - BUFFER ZONE	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET	DRAWN BY AH
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				STREET ADDRESS 785 Covan Creek Road, Lake Bathurst	DRAWING IDENTIFICATION NUMBER A-12	AMENDMENT ISSUE A	



**ROOF LEGEND**

**DP** COLORBOND DOWNPIPES. CONNECT ALL DOWNPIPES TO WATER TANKS. OVERFLOW TO EXISTING STORMWATER SYSTEM.

PROFILED SHEET STEEL ROOFING, COLORBOND FINISH, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

**ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.**

ENTRY PERGOLA OVER, COMPLIANT TO BAL29 AS3959, SHALE GREY FINISH

COLORBOND ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS.

AWNING TO WINDOWS 600 WIDE, SHALE GREY FINISH

PV CELL SOLAR ARRAY, REFER TO BASIX

**1** ROOF PLAN  
1 : 100 @ A3

ROOF AREA 184.63 m<sup>2</sup>

ISSUED FOR  
**DETERMINATION REVIEW**  
**NOT FOR CONSTRUCTION**

<b>DRAWING AMENDMENTS</b>			PROJECT TITLE SHED CONVERSION TO DWELLING HOUSE - DETERMINATION REVIEW	<b>TIM LEE ARCHITECTS</b> residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED ROOF PLAN	DRAWING COMMENCED JUNE 2021	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION DETERMINATION REVIEW	DATE 08/09/2023	CLIENT Rodney Karam		LOT AND DEPOSITED PLAN NO. LOT 3 DP 1116659	DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET	DRAWN BY AH
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## Statement of Environmental Effects

Accompanying a Development Application for

### 2 Bedroom Rural Residential Dwelling and Boundary Adjustment

At

Lot 3 DP 1116659

785 COVAN CREEK ROAD, LAKE BATHURST

SEPTEMBER 2023

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**1. Introduction**

This Statement of Environmental Effects has been prepared by Tim Lee Architects to accompany a development application for boundary adjustment and existing two-bedroom dwelling located at 785 Covan Creek Road, Lake Bathurst. The application is being lodged by Tim Lee Architects, pursuant to Clause 4.12 of the Environmental Planning and Assessment Act 1979.

The proposal has been designed to achieve the relevant provisions of The Goulburn Mulwaree Local Environmental Plan 2010 as amended, and Clause 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

The proposed development is for an existing two-bedroom rural residential dwelling with associated amenities and fireplace. A boundary adjustment to the western boundary and relocation of existing shipping container to a compacted flat pad with piers is also proposed.

This statement has been prepared having regard to the following documentation:

- Architectural plan set
- This SOEE
- Waste Water Management Plan
- Bushfire Assessment Report
- Biodiversity Assessment

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**2. Site description and analysis**

**2.1 Location and property description**



Overall view of 785 Covan Creek Road, Lake Bathurst (image courtesy six maps 2013 photo stock)

**2.2 Site characteristics**

The Site is in a rural area known as Lake Bathurst, just outside the township of Goulburn and is bound by other rural properties. The property is part of a subdivision of a larger rural holding. The landform undulates from the access gate to the dwelling. The site is predominantly cleared with a permanent Dam.

Main property access from the subdivision access road. (Newly completed)

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

### 2.3 Surrounding development

The surrounding area consists of a mix of vacant and rural residential land holdings.

### 3. Details of proposal

The development is for an existing two-bedroom rural residential dwelling with associated amenities and fireplace. Boundary adjustment along western edge to establish the required APZ. Relocation of existing shipping container used for farm associated storage.

#### 3.1 Proposed works

Proposed Works

- Relocation of shipping container to be used as farm specific storage
- New window awnings and pergola structure
- Decommission of exiting effluent disposal
- New effluent disposal area
- Boundary adjustment, buffer zone and APZ to the existing dwelling and adjoining neighbour
- Screening trees to road boundary
- Approval for the existing WC's and bathroom facilities and retention of the existing septic installation
- New laundry tub to existing dwelling
- Approval for existing combustion fire place (Kent Heating slow burning fire place, Serial no.D)

Seeking Approval for:

- Continued use and completion of construction of the existing dwelling.
- Continued use of WC's and bathroom facilities
- Continued use of the fireplace and septic system.

#### 4 Clause 4.15 -Matters for consideration

The following provides an assessment of the proposal against the provisions of Clause 4.15 of the Environmental Planning and Assessment Act (as amended).

**(a) the provisions of:**

**(b) (i) any environmental planning instrument**

**State Environmental Planning Policies**

[State Environmental Planning Policy No 55—Remediation of Land](#)



Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**20.1 Previous land uses**

Research on the site has provided no record of the subject land being used for any contaminating activity in the past 30 years.

**5.13.2 Adjoining Land Uses**

Adjoining land uses on all sides of the subject allotment are rural.

**5.13.3 Site Inspection**

A site inspection was carried out in July 2021. A visual inspection was carried out to identify the presence of any rubbish tips, mounds, holes, or bare ground that could possibly indicate landfill or materials that may or may not contain contaminants. No obvious contamination on the subject land was identified.

**5.13.4 Potentially Contaminating Activities**

There are no known potentially contaminating activities that would have related to the prior use of the site.

**5.13.5 Remediation Activities**

There is no information that the land has been subject to any notices concerning the need for remediation of the site. There is no information to indicate that the land has been subject to voluntary remediation by any prior landowner.

**5.13.6 Contaminated Land Assessment Summary**

From this assessment there appears to be no visible signs of contamination or potential contamination on the land which is the subject of the proposed rural farm sheds.

[State Environmental Planning Policy \(Building Sustainability Index: BASIX\) 2004](#)

Separate assessment under the Basix Tool is not required.

[State Environmental Planning Policy \(Primary Production and Rural Development\) 2019](#)

**Part 2**

**3 Subdivision of, or dwellings on, land in certain rural, residential or environment protection zones**

**(5).a The existing uses and approved uses of land in the vicinity of the development**

Adjacent to and within a 1km radius of the site are (4) existing dwelling houses.

**(5).b Significant impact on land**

The dwelling house has a small footprint and sufficient systems to not impact on its land use. The predominant land uses are not impacted by the dwelling.

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**(5).c Incompatible with use**

Dwelling houses are permissible under the NSW LEP RU2 zone

**(5).d Minimising incompatible use**

The dwelling house has been modified to comply with the relevant codes, the systems in place follow Australian standards, bushfire standards and engineering standards to negate incompatible use.

**Goulburn Development Control Plan**

**5.3 Rural Dwellings**

The proposed dwelling is correctly orientated and setback greater than required from the front boundary (min 50m).

The side setbacks are increased via a boundary adjustment with the western neighbour to incorporate the APZ outlined in the bushfire report.

The dwelling is to have legal access in accordance with the DCP, standard council engineering for rural areas and also the bushfire access standard.

Crossing to GMC standards access road graded and established min 4m wide with swale running either side.

**5.3.1.2 Water Supply**

In addition to the existing tanks a 100KL tank will be installed.

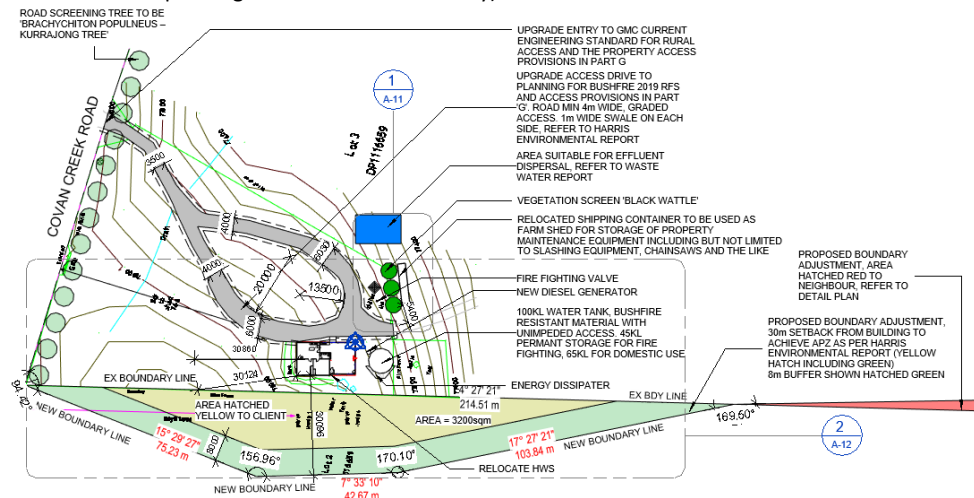
**5.3.1.3 Effluent Disposal**

Refer to attached Waste Water report for details of effluent disposal.

The dwelling house has a buffer distance of 230m from the dam on site.

*Table 5-1 Buffers between rural activities and rural dwellings.*

The adjoining neighbour to the west has stipulated that they currently do not stock or graze the land and have no intention of doing so. The adjoining boundary to the east is approx. 400m and therefore no buffer zones are required. The western boundary is to incorporate an 8m buffer and 30m overall setback from the new boundary, the land will be swapped with a 3200sqm parcel to the north also 30m setback from the dwelling. (Land to owner hatched yellow, land to neighbour shown red with screen planting to the western boundary).



Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**Local Environmental Plan**

The Goulburn Mulwaree Local Environmental Plan 2009 as amended is the applicable LEP in this instance.

The following provisions are specifically relevant to the proposal.

**Zone RU2 Environmental Management****Zone RU2 Rural Landscape****1 Objectives of zone**

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To maintain the rural landscape character of the land.
- To provide for a range of compatible land uses, including extensive agriculture.
- To protect, manage and restore areas with high conservation, scientific, cultural or aesthetic values.
- To protect and enhance the water quality of receiving watercourses and groundwater systems and reduce their degradation.
- To preserve environmentally sensitive land, including catchment areas, and prevent development likely to result in environmental harm.
- To minimise the potential for conflict between adjoining land uses.

**2 Permitted without consent**

Environmental facilities; Environmental protection works; Extensive agriculture; Farm buildings; Home occupations; Roads

**3 Permitted with consent**

Agricultural produce industries; Aquaculture; Cellar door premises; Dwelling houses; Hardware and building supplies; Home industries; Kiosks; Landscaping material supplies; Markets; Plant nurseries; Roadside stalls; Rural supplies; Stock and sale yards; Timber yards; Any other development not specified in item 2 or 4

**4 Prohibited**

Airports; Amusement centres; Attached dwellings; Boat building and repair facilities; Business premises; Camping grounds; Caravan parks; Dual occupancies; Exhibition homes; Exhibition villages; Feedlots; Freight transport facilities; Group homes; Heavy industrial storage establishments; Home occupations (sex services); Hotel or motel accommodation; Industrial retail outlets; Industrial training facilities; Industries; Marinas; Mooring pens; Mortuaries; Multi dwelling housing; Passenger transport facilities; Registered clubs; Residential flat buildings; Restricted premises; Retail premises; Rural industries; Rural workers' dwellings; Semi-detached dwellings; Seniors housing; Serviced apartments; Service stations; Sex services premises; Storage premises; Transport depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Waste or resource management facilities; Wharf or boating facilities; Wholesale supplies

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**farm building** means a structure the use of which is ancillary to an agricultural use of the landholding on which it is situated and includes a hay shed, stock holding yard, machinery shed, shearing shed, silo, storage tank, outbuilding or the like, but does not include a dwelling.

The proposed development is consistent with the permissible pathway under the LEP.

***(iii) any development control plan***

The Goulburn Mulwaree Development Plan 2010 is the applicable DCP in this instance.

***(iiia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter into under section 93F.***

Not applicable

***(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)***

Not Applicable

***(v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates.***

Not Applicable

***(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,***

There are no perceived negative impacts of the proposed development. The work is designed and will be executed in accordance with the requirements of the relevant building and planning codes.

***(c) The suitability of the site for the development,***

The subject lot is part of a rural subdivision. This proposed development is appropriate to the site and to the area.

***(d) any submissions made in accordance with this Act or the regulations,***

Consideration will be given to any submissions made as a result of Council's consultation and notification processes.

***(e) the public interest.***

The Rural subdivision is not open to the General Public and as such provides no measurable greater benefit. Generally, the maintenance of rural land holdings provides a level of control of noxious weeds and the like while also improving grazing and cropping areas. As an added benefit the clearing and control of dead wood and overgrown undergrowth provides an element of fire control in the summer months.

**5.0 Other considerations**

**5.1 Visual Impacts**

The proposed development will not adversely impact the visual amenity of the surrounding subdivision. Potential impact on the adjoining allotments has been considered in the design.

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

Modifications to the existing dwelling has been designed to reduce the buildings overall imprint.

**5.2 Open Space**

The proposed development will not impact any existing council owned parks or open tracts of land.

**5.3 Overshadowing and Privacy**

The proposed development will not overshadow adjoining development.

**5.4 Noise**

The proposed dwelling will generate a noise profile typical of a residence on a rural allotment. There is no manufacture process or additional uses that can be associated with damaging or excessive noise generation.

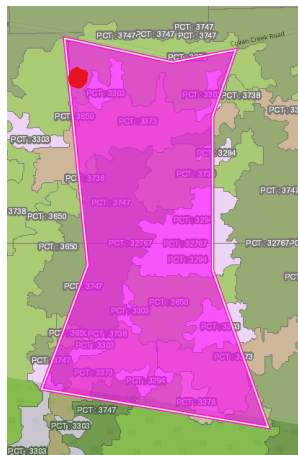
**5.5 Erosion Control Measures**

Refer to the attached erosion and sediment control plan for management of the site during construction.

**5.6 Economic and Social Impacts**

The proposed development will generate local employment during the construction period. Once complete the proposed development will have no social impact and economically add to the maintenance of high-quality rural development occurring in the area.

**5.7 Environmental**



There are no Environmental issues with the proposed development. The Boset search revealed no triggers for a more intensive Biodiversity assessment and the AHIMS search revealed no recorded indigenous sites of significance.

The site is predominately open grazing land with pockets of Western Tablelands Dry Forest and Tablelands ridge forest. The north of the site is silvertop ash forest, ribbon gum and box gum grass forest leading to scribbly gum, grassy forest, peppermint gum and silvertop ash comprising the middle of the allotment with ribbon gum sheltered forest, box gum grassy forest, grassy box woodland, silvertop ash forest, peppermint gum montane forest and scribbly gum forest covering the south of the site. The formations of trees and shrubs are few in number predominately being opening grasslands.

Flora and fauna are not expected to occur within the proposed site area for the dwelling. Refer to 'Lesryk Environmental' report for details. It is recommended that the proposal will not negatively impact the vegetation, biodiversity or flora and fauna onsite.

(Approximate dwelling location shown red.

[https://geo.seed.nsw.gov.au/Public\\_Viewers/index.html?viewer=Public\\_Viewers&locale=en-AU](https://geo.seed.nsw.gov.au/Public_Viewers/index.html?viewer=Public_Viewers&locale=en-AU))

Statement of Environmental Effects  
785 Covan Creek Road, Lake Bathurst

**5.8 Disabled Access**

Not Applicable to this development

**5.9 Security, Site Facilities and Safety**

The property access is controlled by new installed gates. These are currently padlocked.

**5.10 Waste management**

During construction

All building waste (offcuts and the like) will be sorted and removed from site.

Usage

Farm waste will be collected in a sealed receptacle and store. The owners will remove and dispose of waste as per standard rural property practise.

**5.11 BCA compliance**

The design as documented complies with the requirements of these codes and standards as applicable to BCA Vol 2.

Tim Lee Architects accepts no indemnity or Liability for variations from the documented building to which they have not been consulted and provided amended documentation for.

**5.12 Traffic**

There is no substantial impact on traffic other than that associated with a standard rural development.

**5.13 Stormwater/flooding**

The proposed development is not located in a flood zone and does not impede the required overland flow pathways established as per to the overall subdivision development. Internal stormwater management is in compliance with Goulburn Mulwaree Council planning policies relating to the management of Stormwater.

**6.0 Conclusion**

The existing dwelling has been altered to improve the amenity, aesthetic, and function in accordance with the requirements of Goulburn Mulwaree Local Environmental Plan 2009 and Development Control plan 2009.

The design is in compliance with the various prescriptive elements of these codes and no variation to those codes is sought.

Assessment of the applicable SEPP documentation has been provided.

Consultants have been engaged to provide reports for technical information appended to this statement.

In summary the proposed development is considered appropriate for the location and has been designed in concurrence with the relevant codes, standards, and regulations applicable to the Site.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

REF: 4915BF

Date: 1/9/23

Valid To: 1/9/24



## BUSHFIRE HAZARD ASSESSMENT

PROPOSED BOUNDARY ADJUSTMENT

785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

LGA: Goulburn Mulwaree

Lots 3 & 2 DP 1116659

Applicant: Rodney Karam

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BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

**HARRIS ENVIRONMENTAL CONSULTING**

**Version Control**

Proposal	Proposed Boundary Adjustment			
Site Address	785 & 809 Covan Creek Road, Lake Bathurst, NSW, Lots 3 & 2 DP 1116659			
Prepared By	Samantha Orum – B. Env. Sc. (Land Resources & Management) (Honours)			
Approved By:	Katherine Harris – BPAD Lvl 3			
Date Created	15/03/22			
Version Number	Modified By	Issue Detail	Date Issued	Status
1.0	SO	DA Report	17/03/22	Complete
2.0	MV	DA Report	31/8/23	Complete
2.1	KH	DA Report	1/9/23	Complete

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**ASSESSOR & QUALIFICATIONS**

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**DISCLAIMER**

The recommendations provided in the summary of this report are a result of the analysis of the proposal in relation to the requirements of Planning for Bushfire Protection 2019. Utmost care has been taken in the preparation of this report however there is no guarantee of human error. The intention of this report is to address the submission requirements for Development Applications on bushfire prone land. There is no implied assurance or guarantee the summary conditions will be accepted in the final consent and there is no way Harris Environmental Consulting is liable for any financial losses incurred should the recommendations in this report not be accepted in the final conditions of consent. This bushfire assessment provides a risk assessment of the bushfire hazard as outlined in the PBP 2019 and AS3959 2018. It does not provide protection against any damages or losses resulting from a bushfire event.

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BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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## EXECUTIVE SUMMARY

This report provides a Bushfire Hazard Assessment for a proposed boundary adjustment between 785 Covan Creek Road & 809 Covan Creek Road, Lake Bathurst, NSW.

No development is proposed in this application.

A BAL 12.5 APZ is required to be established from the existing shed on 785 Covan Creek Road for the following distances:

- 28 m towards the southern elevation
- 25 m towards the eastern elevation; and
- 22 m towards the northern and western elevations.

The subject sites are located on Covan Creek Road which is a two-wheel drive, all weather road. The capacity of road surfaces and bridges is sufficient to carry fully loaded firefighting vehicles.

The existing access is approximately 100 m in length.

The internal access is required to be upgraded to comply with the PBP- Property Access Table 7.4a. This includes:

- A minimum carriageway width of four metres;
- provide enough turning room for a fire tanker that requires an inner minimum turning radius of 6 m and outer minimum radius of 12 m;
- Curves a minimum inner radius of six metres;
- The minimum distance between inner and outer curves is six metres;
- The cross fall is not more than 10 degrees;
- Maximum grades for sealed roads do not exceed 15 degrees (28 per cent) and not more than 10 degrees (18 percent) for unsealed roads;
- The internal road surfaces and bridges have a capacity to carry fully loaded firefighting vehicles (23 tonnes) and provide signage that clearly indicates the bridge capacity; and
- There is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
- Note Some short constrictions in the access may be accepted where they are not less than 3.5m wide, extend for no more than 30m and where the obstruction cannot be reasonably avoided or removed. The gradients applicable to public roads also apply to community style development property access roads in addition to the above.

It is proposed that the width of the road be increased to 3.5m for the first 28 m of the existing access and increased to 4m around the turning area.

BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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## 1. PROPOSAL

The owners of 785 & 809 Covan Creek Road, Lake Bathurst, NSW, propose a boundary adjustment on Lots 3 & 2 DP 1116659. The applicant proposes to adjust the boundary in order to accommodate the APZ for the existing infrastructure on 785 Covan Creek Road as shown in Figure 3. The overall area for each subject lot is to remain the same.

No development is proposed in the application.

Harris Environmental Consulting was commissioned to provide this bushfire assessment.

Boundary adjustments require to be assessed as a "subdivision" and require a Bushfire Safety Authority (BFSA) from the RFS before Council can provide consent.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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## 2. ASSESSMENT REQUIREMENTS

### 2.1 Regulation

As this proposal involves a subdivision it requires Integrated DA approval. This involves obtaining a Bushfire Safety Authority (BFSA) from the NSW Rural Fire Services (RFS).

Integrated development applications under section 100B of the *Rural Fires Act* (RF Act) and section 4.46 of the *EP&A Act* require the following detailed information:

- Description of property;
- Classification of vegetation out to 140 m from the development;
- An assessment of the effective slope to a distance of 100 m;
- Identification of any significant environmental features;
- Details of threatened species, populations, endangered communities and critical habitat known to the applicant;
- Details of Aboriginal heritage known to the applicant; and
- A bushfire assessment that complies with the relevant requirements of the PBP (2019) and AS 3959:2018.

These relevant specific objectives for subdivision in Chapter 5 of the PBP (2019) include:

- Minimise perimeters of the subdivision exposed to the bush fire hazard;
- Minimise bushland corridors that permit the passage of bush fire;
- Provide for the siting of future dwellings away from ridge tops and steep slopes;
- Ensure that separation distances (APZ) between a bush fire hazard and future dwellings enable conformity with deemed to satisfy requirements of the BCA;
- Ensure the ongoing maintenance of asset protection zones;
- Provide clear and ready access from all properties to the public road for residents and emergency services; and
- Ensure the provision of adequate supply of water and other services to facilitate effective firefighting.

### 2.2 Emergency Management

In the event of emergency, the residents are advised to become familiar with the RFS Bush Fire Alert Levels and develop a Bush Fire Survival Plan to ensure they know what to do in the event of a bush fire.

BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

**2.3 Landscape and Vegetation Management**

To incorporate bushfire protection measures into future development, the owner is advised to consider the following:

- Maintain a clear area of low-cut lawn or pavement adjacent to the house;
- Ensure any pastures within APZ are regularly slashed;
- Avoid planting trees species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopy;
- Avoid planting deciduous species that may increase fuel at surface/ground level by the fall of leaves;
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores (LPG gas bottles) away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such as timber furniture away from the building;
- Ensure any vegetation planted around the house is a suitable distance away so these plants do not come into physical contact with the house as they mature; and
- Incorporate suitable impervious area surrounding the house, including courtyards, paths and driveways.

**2.4 Construction Standards**

The Australian Standard AS3959; 2018 is the enabling standard that addresses the performance requirements of both parts 2.3.4 and Part GF5.1 of the Building Code of Australia for the construction of the Class 1, 2 and Class 3 buildings within a designated Bushfire Prone Area.

The following was determined for this site:

*Relevant fire danger index*.....FDI 100  
*Flame temperature* .....1090 K

The Building Code of Australia (BCA) is a performance-based code which contains performance requirements and deemed to satisfy provisions relating to the construction of buildings in bushfire prone areas. These provisions include Class 1, 2, 3 & 4 buildings that are proposed for construction in designated bushfire prone areas. All class 10b (e.g., sheds) should be located >10 metres away from the dwelling, or be constructed to the relevant BAL.

BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

### 3. SITE LOCATION

The following figures show the location of the proposed boundary adjustment.

Figure 1 shows the subject lot location.

Figure 2 provides a broad scale aerial view of the subject site.

Figure 3 shows a close-up view of the subject lot.

FIGURE 1 LOCATION OF SUBJECT LOTS

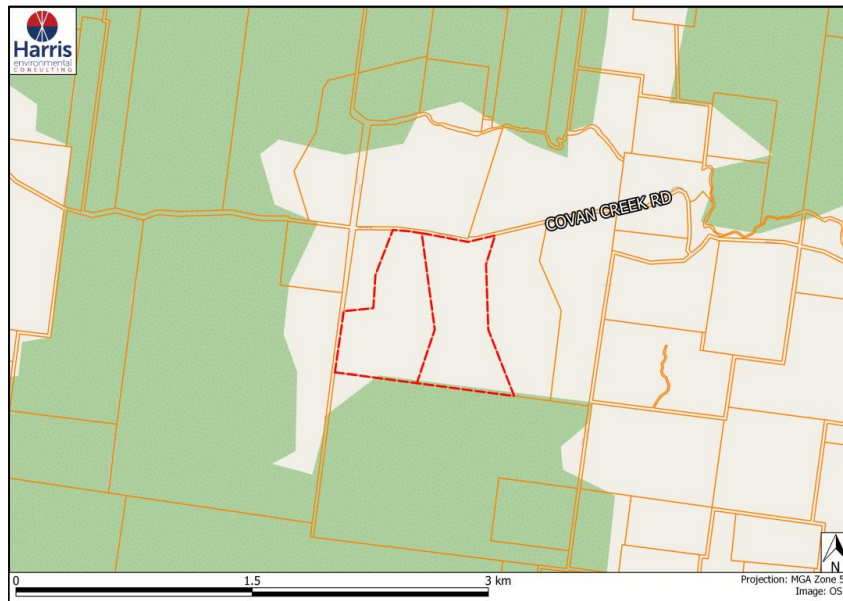
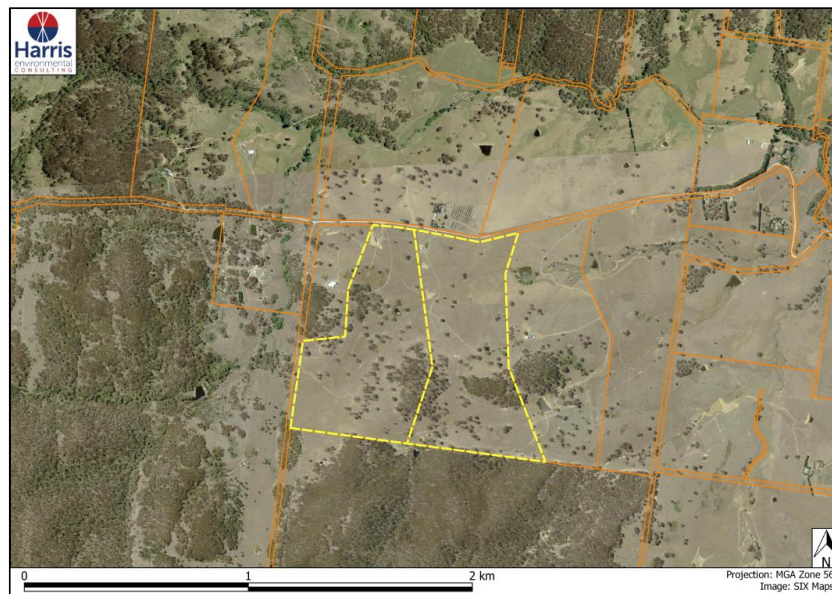


FIGURE 2 EXTENDED AERIAL VIEW OF THE SUBJECT LOT



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FIGURE 3 CLOSE-UP AERIAL





BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

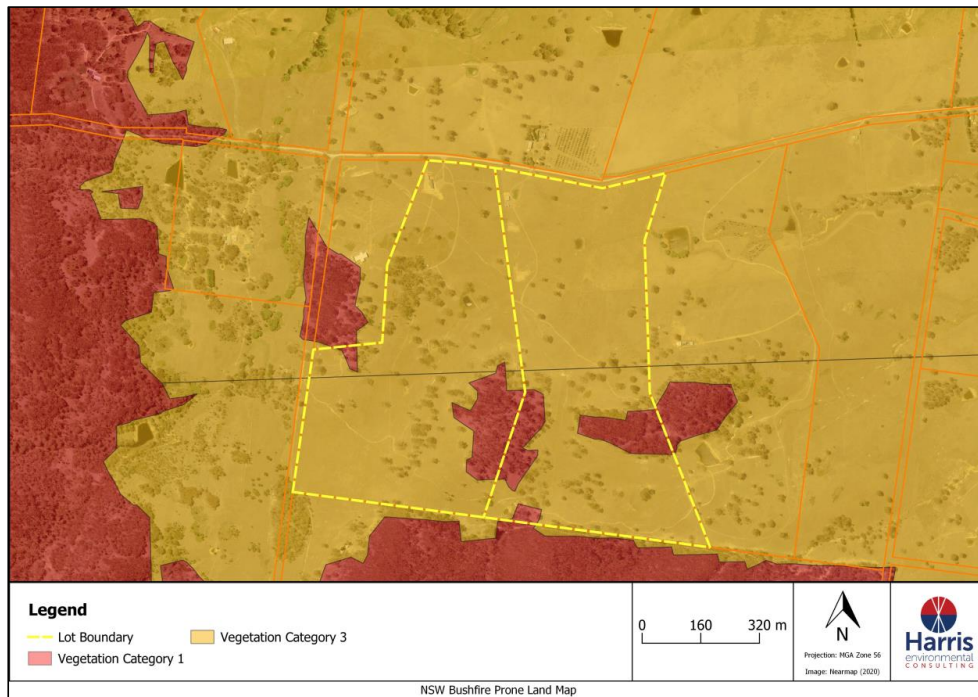
**4. PLANNING LAYERS**

The following planning layers are described in Table 1 and shown in the Figures below:

**TABLE 1 PLANNING LAYERS**

MAP	FIGURE	DESCRIPTION
<b>Bushfire Prone Land Map</b>	5	The subject lot is mapped “Vegetation Category 1” and “Vegetation Category 3”.
<b>LEP Zone Map</b>	6	The subject lot is zoned as “RU2 – Rural Landscape”.
<b>Vegetation Mapping</b>	7	The vegetation surrounding the subject lot has been mapped as “Western Tablelands Dry Forest”, “Western Tablelands Dry Forest” and “Tableland Swamp Flats Forest” (OEH, 2016).
<b>Biodiversity Values Map</b>	NA	As of 15/03/2022, there is no land identified on the subject lot as having high biodiversity value under the Biodiversity Offsets Scheme under the Biodiversity Conservation Act 2016.

**FIGURE 4 BUSHFIRE PRONE MAP**



BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

FIGURE 5 LEP ZONE MAP

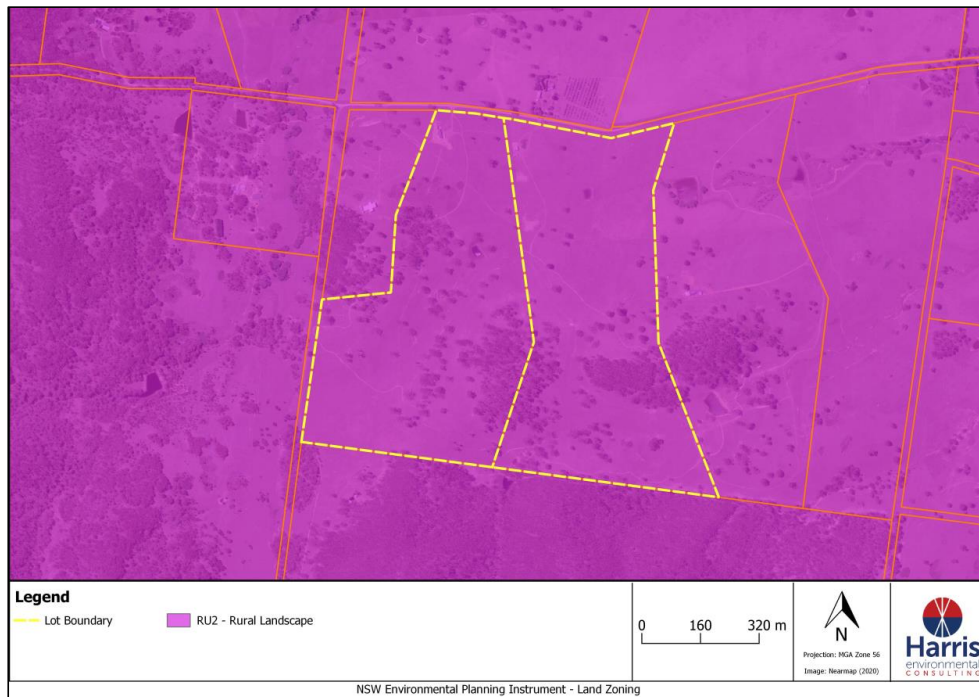
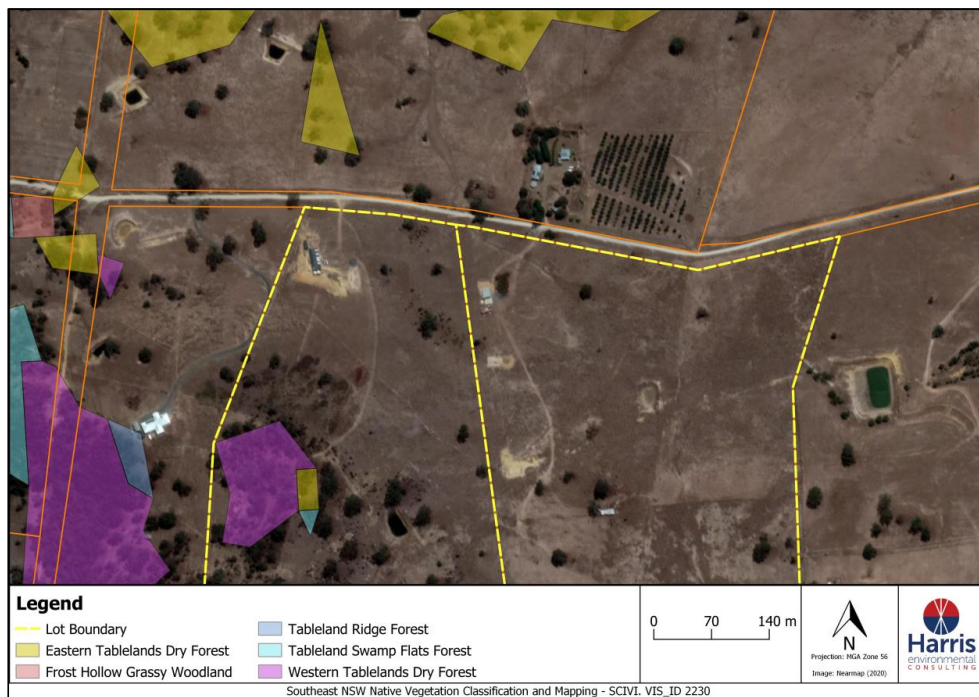


FIGURE 6 VEGETATION MAPPING



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**5. SITE DESCRIPTION**

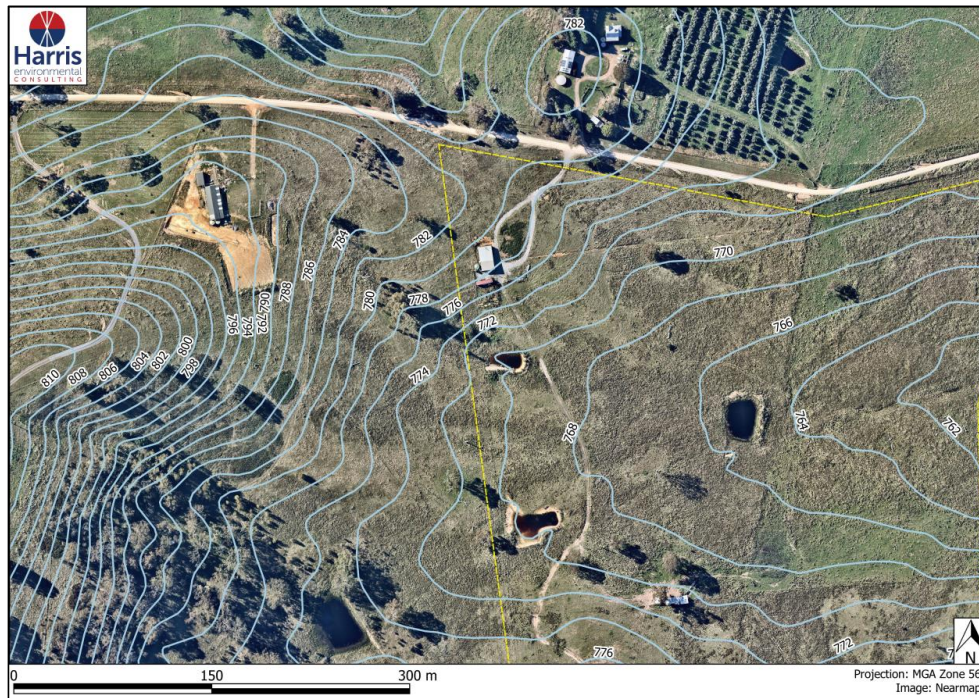
**5.1. Slope and aspect of the site within 100 m**

The slope that would most significantly influence fire behaviour was determined over a distance of 100m out from the proposed residence. This assessment was made using 2 m contour intervals.

The Australian Standard AS3959:2018 identifies that the slope of the land under the classified vegetation is much more important than the slope between the site and the edge of the classified vegetation.

As can be seen in Figure 8 the subject site is located on topography that exhibits sloping gradients that fall eastern and southern elevations.

FIGURE 7 SLOPE



**5.2. Identification of significant environmental features**

The owners have not provided any studies of environmental significance.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

**5.3. Vegetation formation within 140 m of proposed development**

Figure 8 shows the managed and unmanaged land within 140 m of the proposed boundary adjustment on 785 and 809 Covan Creek Road. The vegetation formations are described below and summarised in Tables 2 and 3.

The vegetation impacting both 785 and 809 is predominately Grassland on all elevations with *Planning for Bush Fire Protection 2019*.

The Screening Trees to the west are greater than 20m from the development and are less than 20m wide so they are therefore considered excluded vegetation.

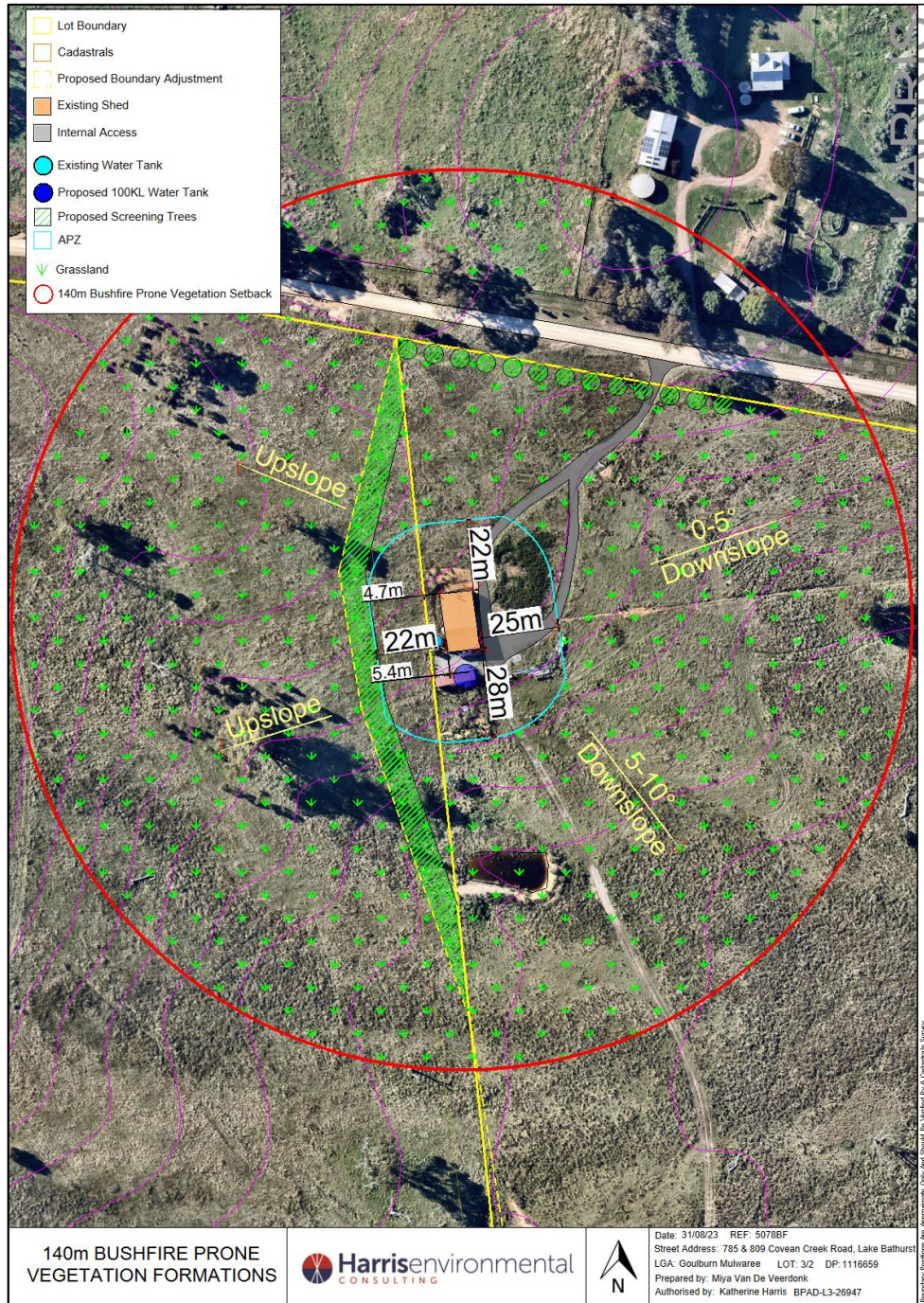
**TABLE 2 PREDOMINATE VEGETATION CLASSIFICATION**

	Vegetation Formation	Effective Slope	Distance from façade to hazard
<b>North</b>	Grassland	Upslope	22 m
<b>East</b>	Grassland	0-5° Downslope	25 m
<b>South</b>	Grassland	5-10° Downslope	28 m
<b>West</b>	Grassland	Upslope	22 m



BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

FIGURE 8 BUSHFIRE PRONE VEGETATION WITHIN 140 M OF THE EXISTING SHED



BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

**6. BUSHFIRE THREAT ASSESSMENT**

**6.1. Asset Protection Zones (APZ)**

Table A1.12.2 *PBP 2019* has been used to determine the width of the required APZ for the proposed development using the vegetation and slope data identified.

An FDI of 100 was used for this location.

The APZ and BAL determination results shown in Table 3 and Figure 9.

An **BAL 12.5 APZ** is to be established and maintained for perpetuity from the existing shed for the following distances:

- 28 m towards the southern elevation
- 25 m towards the eastern elevation; and
- 22 m towards the northern and western elevations.

**TABLE 3 APZ AND BAL DETERMINATION USING PBP 2019**

	<b>NORTH</b>	<b>EAST</b>	<b>SOUTH</b>	<b>WEST</b>
<b>Vegetation</b>	Grassland	Grassland	Grassland	Grassland
<b>Gradient</b>	Upslope	0-5° Downslope	5-10° Downslope	Upslope
<b>Distance between façade and hazard</b>	22 m	25 m	28 m	22 m
<b>BAL 12.5 required APZ</b>	22 -< 50 m	25 -< 50 m	28 -< 50 m	22 -< 50 m
<b>BAL Required</b>	<b>BAL 12.5</b>	<b>BAL 12.5</b>	<b>BAL 12.5</b>	<b>BAL 12.5</b>



BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

FIGURE 9 ASSET PROTECTION ZONE



BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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**6.2. Relevant Construction Standard**

The Australian Standard AS3959:2018 is the enabling standard that addresses the performance requirements of both parts 2.3.4 and Part GF5.1 of the Building Code of Australia for the construction of the Class 1, 2 and Class 3 buildings within a designated Bushfire Prone Area.

The following was determined for this site:

*Relevant fire danger index*.....FDI 100  
*Flame temperature* .....1090 K

**No development is proposed in this DA.**

A BAL 12.5 APZ is required to be established from the existing shed on 785 Covan Creek Road for the following distances:

- 28 m towards the southern elevation
- 25 m towards the eastern elevation; and
- 22 m towards the northern and western elevations.



BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

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### 6.3. Safe Operational Access

The PBP (2019) requires the provision of safe operational access to structures and water supply for emergency services, while residents are seeking to evacuate from an area.

The subject sites are located on Covan Creek Road which is a two-wheel drive, all weather road. The capacity of road surfaces and bridges is sufficient to carry fully loaded firefighting vehicles.

The existing access is approximately 100 m in length.

The internal access, as shown in Figure 10, is required to be upgraded to comply with the PBP- Property Access Table 7.4a. This includes:

- A minimum carriageway width of four metres;
- provide enough turning room for a fire tanker that requires an inner minimum turning radius of 6 m and outer minimum radius of 12 m;
- Curves a minimum inner radius of six metres;
- The minimum distance between inner and outer curves is six metres;
- The cross fall is not more than 10 degrees;
- Maximum grades for sealed roads do not exceed 15 degrees (28 per cent) and not more than 10 degrees (18 percent) for unsealed roads;
- The internal road surfaces and bridges have a capacity to carry fully loaded firefighting vehicles (23 tonnes) and provide signage that clearly indicates the bridge capacity; and
- There is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
- Note Some short constrictions in the access may be accepted where they are not less than 3.5m wide, extend for no more than 30m and where the obstruction cannot be reasonably avoided or removed. The gradients applicable to public roads also apply to community style development property access roads in addition to the above.

It is proposed that the width of the road be increased to 3.5m for the first 28 m of the existing access and increased to 4m around the turning area. See figure 10

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST, NSW

FIGURE 10 INTERNAL ACCESS



**6.4. Emergency Management**

The owners are advised to obtain the *NSW Rural Fire Service – “Guidelines for the Preparation of Bush Fire Evacuation Plans” & ‘Bush Fire Survival Plan’* In the event of emergency, the owners should ensure they are familiar with the RFS Bush Fire Alert Levels and use their Bush Fire Survival Plan.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST,  
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## 7. LANDSCAPING

The APZ is required to be maintained for perpetuity.

When landscaping, vegetation should be located greater than 2 m from any part of the roofline of a dwelling or the shed. Garden beds of flammable shrubs are not to be located under trees and should be no closer than 10 m from an exposed window or door. Trees should have lower limbs removed up to a height of 2 m above the ground.

Appendix 4 (PBP) provides guidelines for landscaping and Bushfire Provisions within the APZ. To incorporate bushfire protection measures into future development, the owner is advised to consider the following:

- Avoid planting trees species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopy;
- Avoid planting deciduous species that may increase fuel at surface/ground level by the fall of leaves;
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores (LPG gas bottles) away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such as timber furniture away from the building;
- Ensure any vegetation planted around the house is a suitable distance away so these plants do not come into physical contact with the house as they mature; and
- The property should be developed to incorporate suitable impervious area surrounding the house, including courtyards, paths and driveways.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST,  
NSW

---

## 8. SUMMARY

- No development is proposed in this application.
- A BAL 12.5 APZ is required to be established from the existing shed on 785 Covan Creek Road for the following distances:
  - 28 m towards the southern elevation
  - 25 m towards the eastern elevation; and
  - 22 m towards the northern and western elevations.
- The subject sites are located on Covan Creek Road which is a two-wheel drive, all weather road. The capacity of road surfaces and bridges is sufficient to carry fully loaded firefighting vehicles.
- The existing access is approximately 100 m in length.
- The internal access, as shown in Figure 11, is required to be upgraded to comply with the PBP- Property Access Table 7.4a. This includes:
  - A minimum carriageway width of four metres;
  - provide enough turning room for a fire tanker that requires an inner minimum turning radius of 6 m and outer minimum radius of 12 m;
  - Curves a minimum inner radius of six metres;
  - The minimum distance between inner and outer curves is six metres;
  - The cross fall is not more than 10 degrees;
  - Maximum grades for sealed roads do not exceed 15 degrees (28 per cent) and not more than 10 degrees (18 percent) for unsealed roads;
  - The internal road surfaces and bridges have a capacity to carry fully loaded firefighting vehicles (23 tonnes) and provide signage that clearly indicates the bridge capacity; and
  - There is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.
  - Note Some short constrictions in the access may be accepted where they are not less than 3.5m wide, extend for no more than 30m and where the obstruction cannot be reasonably avoided or removed. The gradients applicable to public roads also apply to community style development property access roads in addition to the above.
- It is proposed that the width of the road be increased to 3.5m for the first 28 m of the existing access and increased to 4m around the turning area.

BOUNDARY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST,  
NSW

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BOUNDRY ADJUSTMENT BUSHFIRE HAZARD ASSESSMENT BETWEEN 785 & 809 COVAN CREEK ROAD, LAKE BATHURST,  
NSW

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#### APPENDIX I DEFINITION OF ASSET PROTECTION ZONES

Vegetation within the APZ should be managed in accordance with APZ specifications for the purposes of limiting the travel of a fire, reducing the likelihood of direct flame contact and removing additional hazards or ignition sources. The following outlines some general vegetation management principles for APZs:

- 1) Discontinuous shrub layer (clumps or islands of shrubs not rows);
- 2) Vertical separation between vegetation stratum;
- 3) Tree canopies not overhanging structures;
- 4) Management and trimming of trees and other vegetation in the vicinity of power lines and tower lines in accordance with the specifications in "Vegetation Safety Clearances" issued by Energy Australia (NS179, April 2002);
- 5) Maintain low ground covers by mowing / whipper snipper / slashing; and
- 6) Non-combustible mulch e.g., stones and removing stores of combustible materials;
- 7) Vegetation to be planted should consist of fire retardant/ less flammable species strategically located to reduce attack from embers (i.e., as ember traps when in small clumps and short wind breaks).





**Test of Significance  
for  
LOT 3 DP 1116659 / 785 Covan Creek Road  
Lake Bathurst, NSW**



August 2023

Test of Significance Report

Project File Name: Lake Bathurst

Test of Significance Report, for LOT 3 DP 1116659, 785 Covan Creek Road, , NSW

Revision	Date	Prepared by	Reviewed by	Approved by
DRAFT	18 - 29/08/2023	T. Hastings	S. Gray	
FINAL	31/08/2023	T. Hastings		T. Hastings

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### Executive summary

A 4.2ha area including the proposed development plus a 25m buffer was assessed. No threatened species or threatened species habitats were found. The threatened ecological community of Box Gum Woodland was identified at the southern end of the assessment area. Higher quality remnant woodland occurs adjacent to the assessment area, and moving the boundary fence as proposed may increase the biodiversity values of this patch.

The key information to consider in deciding whether the proposal would have significant impact on any threatened species or community, is that:

- The grassland impacted by the proposal does contain native-dominated patches, which are not part of the Natural Temperate Grassland threatened ecological community.
- The Box Gum Woodland at the south end of the property will not be directly impacted by moving the boundary fence. There is likely to be positive benefit from lower grazing pressure after the boundary is moved.

This Test of Significance finds that the proposed development will not have any negative impacts on threatened species or communities.

Tony Hastings, Environmental Consultant



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## 1 Introduction

This Test of Significance applies the Threatened Species Test of Significance Guidelines (OEH 2018) to a proposed development at LOT 3 DP 1116659, 785 Covan Creek Road, Lake Bathurst. This assessment includes a qualitative analysis of the likely impacts and determine whether further assessment is required, and a test of significance applied to species and ecological communities listed in Schedules 1 and 2 to the *Biodiversity Conservation Act 2016* (NSW).

The purpose of this report is to address issues raised by Shaun Allen, Assistant Development Assessment Officer, Goulburn Mulwaree Council, in the letter dated 14 June 2023.

Items to be addressed include:

- On site surveys to locate and map patches of native grassland within the proposal area
- Surveys to be conducted for *Keyacris Scurra* (Key's Matchstick Grasshopper).
- All parts of 785 and 809 Covan Creek Road that stand to be affected by the proposed development; including Asset Protection Zones, building areas, Effluent Management works, driveway works, infrastructure connections, and boundary adjustment. Because Rural Boundary Clearing Code provisions allow for clearing within 25m of a fence, this buffer was applied to the assessment area.

A Test of Significance was considered to be the most appropriate report for addressing these matters, and ensuring all issues relating to biodiversity are addressed.

### 1.1 Biodiversity Offset Scheme

Prior to completing a Test of Significance, it is required to check if the Biodiversity Offset Scheme applies. A desktop investigation of the area within LOT 3 DP 1116659, 785 Covan Creek Road, Lake Bathurst, confirms that the BOS does not apply:

- No Biodiversity Values are currently mapped within the assessment area.
- Minimum Lot Size; 100ha. Native vegetation clearing threshold (that triggers Biodiversity Offset Scheme) is 1ha. The approximate area impacted by proposal is 0.6 ha.
- Native vegetation mapping shows the following Plant Community Types (PCTs) within the assessment area: PCT 3747 Southern Tableland Western Hills Scribbly Gum Forest and PCT 3650 Goulburn-Lithgow Ranges Silvertop Ash Forest. Nearby is PCT 3294 Central Tableland Peppermint-Gum Montane Forest
- No Threatened Ecological Communities are associated with these PCTs.

### 1.2 Description of the proposal

The development proposes to convert an existing shed into a house, adjust the property boundary to give more space around this house and swap that area by moving a fence, plus move a shipping container and install an effluent dispersal system. These are illustrated in Figure 1-2.

The area affected by the shipping container and effluent dispersal system is covered by grassland, with no trees or shrubs present. The new space around the house will include planting lines of screening trees, where there is currently grassland and some *Acacia* regrowth. Adjusting the boundary will consist of moving an existing star-picket fence. This will not include felling any trees.

Shaun Allen requested assessment of the fence line to consider the potential for additional land clearing under the NSW Rural Fire Service's Rural Boundary Clearing Code (RFS 2021), which in section 6.1 "provides for the removal, destruction or pruning of any vegetation (including trees) by landholders on their own property within 25 metres of the boundary of their holding. The clearing of vegetation provided for under this scheme is for bush fire hazard reduction and clearing should only be done to the minimum extent necessary for that purpose." In this case, some Parramatta Wattle, *Acacia parramattensis*, may be included in this provision, but there would be no reason to clear trees at the south end of the property.

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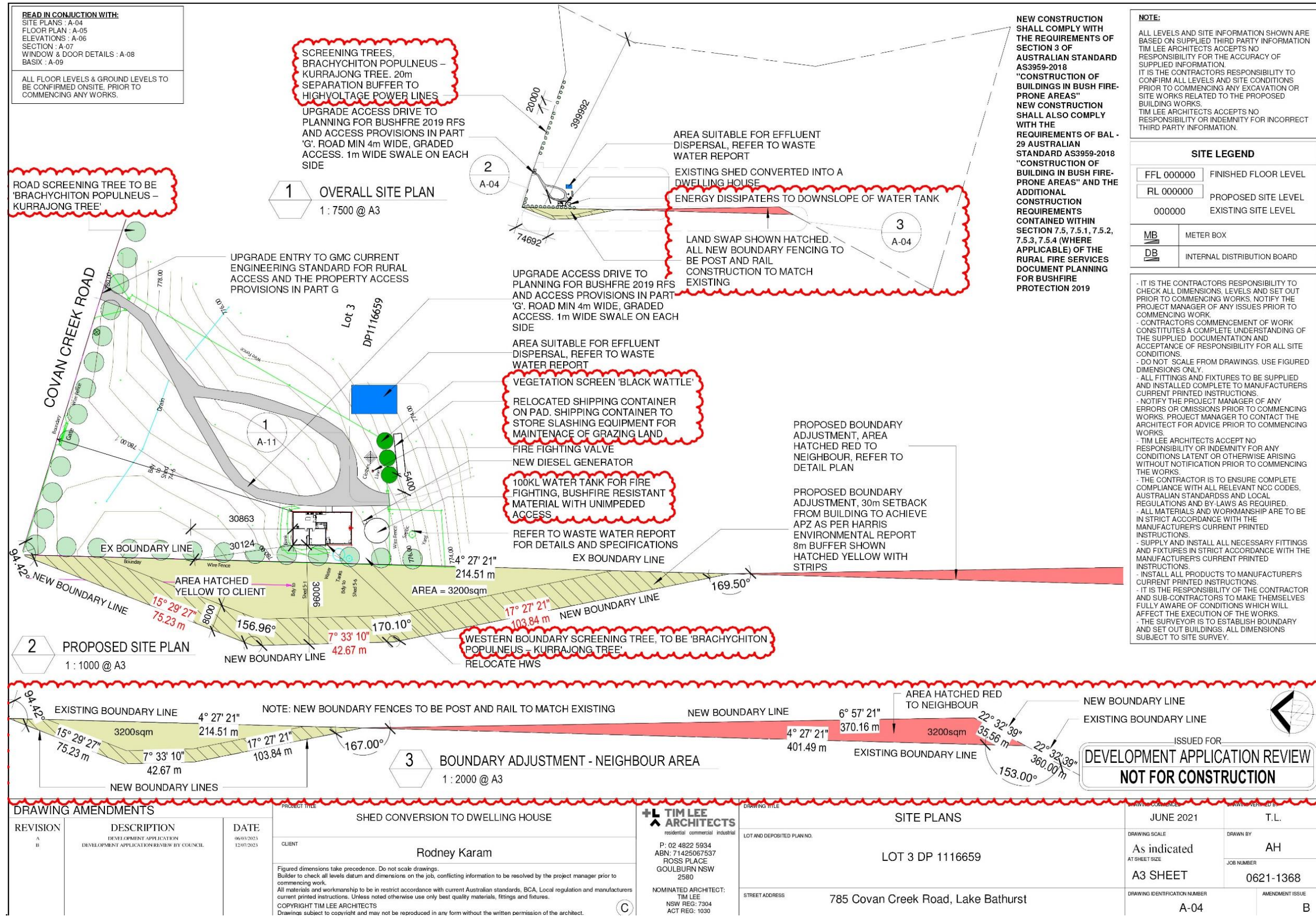


Figure 1 Site Plans by Tim Lee Architects





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1.3 Description of the Study Area

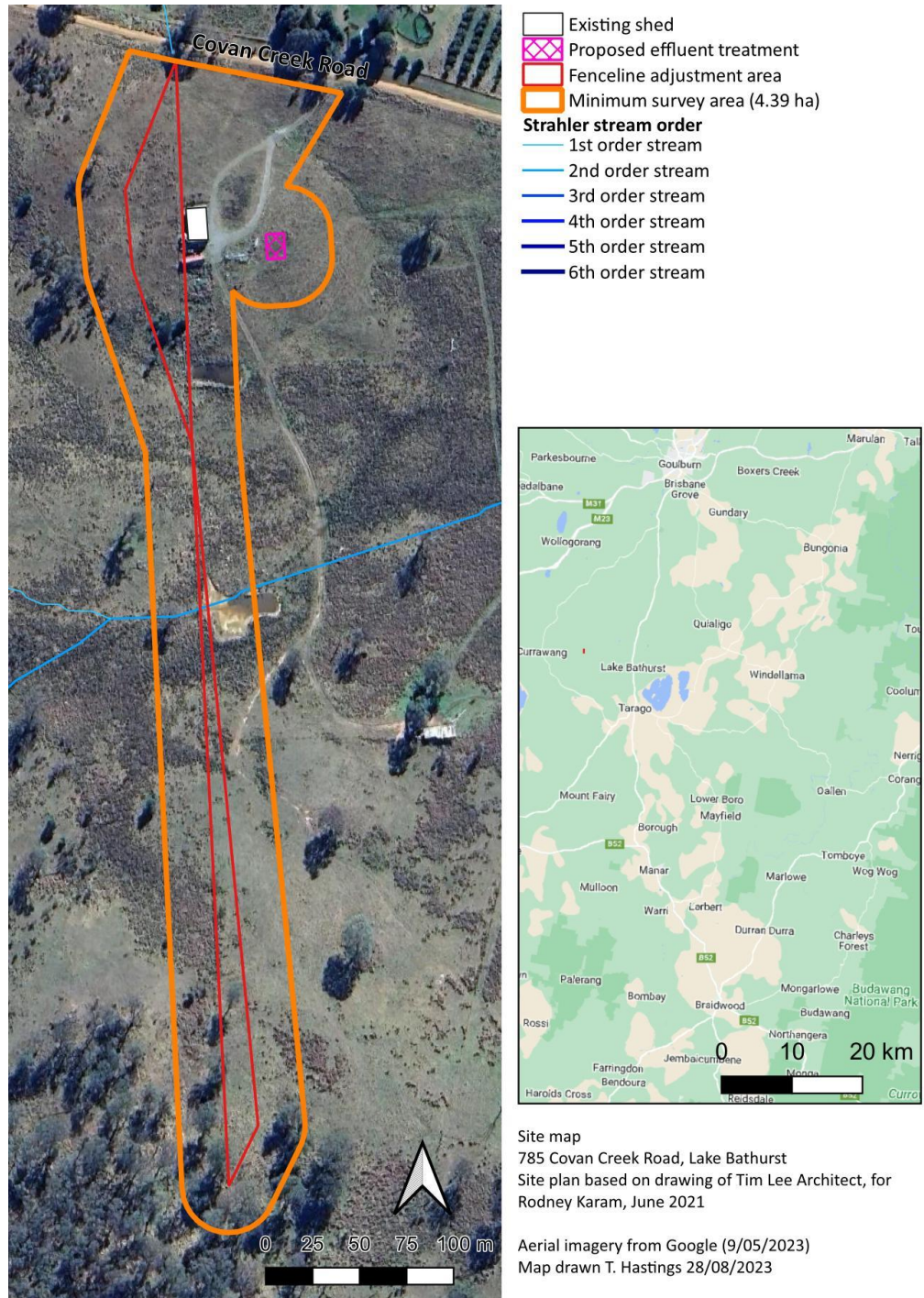


Figure 1-2 Proposed development and area assessed

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## 1.4 Site context

### 1.4.1 Topography

The development proposal crosses a small valley; descending south from the proposed dwelling across a wet depression and rises to a ridgeline sparsely covered with woodland. The property is mostly cleared grassland and pasture, grazed by sheep and alpaca, while the adjoining property is grazed by a horse.

The clearing appears to be historic, with any no evidence of tree stumps from where woodland would have once occurred. The wet depression is a second-order stream (using the Strahler stream classification system), which flows eastwards to Covan Creek.

### 1.4.2 Geology and soils

The following information is extracted from the “Simplified Geology” map layer (State NSW 2023):

- Lithology group: Silurian sedimentary and volcanic rocks
- Lithology: A mix of sedimentary units including sandstone, shale and black shale, and volcanic units including rhyolitic to dacitic lava flows, intrusive and pyroclastic flows (ignimbrite).
- Geography: Distribution limited to the eastern Lachlan Orogen, including in the Rhylstone and Goulburn areas.
- Top Age: 419 million years ago
- Base age: 442 million years ago

## 1.5 IBRA regions and subregions

The Study Area is fully within the NSW IBRA Region “South Eastern Highlands”. The Bioregion is described as:

“Steep dissected and rugged ranges extending across southern and eastern Victoria and southern NSW. Geology predominantly Palaeozoic rocks and Mesozoic rocks. Vegetation predominantly wet and dry sclerophyll forests, woodland, minor cool temperate rainforest and minor grassland and herbaceous communities. Large areas, particularly in the Box-Ironbark Forests, were felled for fuel and timber for the mines during the gold rushes in Victoria. Large areas have also been cleared in NSW for grazing or plantations.” (DAWE 2019 A, p.10).

The Study Area is fully within the NSW IBRA Subregion of “Monaro”. This Subregion is described as:

“Monaro subregion is composed of block faulted ranges and closed lake basins in Silurian and Devonian acid fine grained sedimentary and metamorphic rocks, with some granites. It contains extensive areas of thin Tertiary basalt flows over lake and river sediments and consists of a sloping plateau rising from 600 to 1300 m north to south, with structural ridges of more resistant rock. Stepped plains occur on basalt with intervening low areas of granite or sedimentary rocks. Numerous shallow lakes and swamps occur, a few are permanent although many are closed basins and periodically dry. The subregion is in rainshadow with rainfall between 450-700 mm. Harsh yellow texture contrast soils occur in general. Shallow red brown to black stony loams are present on basalt. Snow gum, ribbon gum, candle-bark gum, broad-leaved peppermint and mountain gum occur in open woodlands with kangaroo grass understorey. White gum and mottled gum occur on hills. Brown barrel and black ash forests are present in the east with west-facing patches of dwarf casuarina heathland. Extensive grasslands of snow grass, spear grass and wallaby grass occur on the driest plains with clumps of snow gum amongst rocky outcrops.” (DAWE 2019 B, p.67-68).



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**1.6 NSW landscape regions (Mitchell Landscapes)**

The Study Area is fully within the Mitchell Landscape “Gunday Plains”. This region is described as follows:

“Wide open valleys with abandoned terraces and Quaternary lakebeds on lower Devonian siltstone, sandstone, andesite and quartz felspar porphyry. General elevation 75m, local relief <30m. Yellow, hard setting texture-contrast soils with distinct bleached A2 horizons. Grasslands of spear grass (*Austrostipa* sp.) and kangaroo grass (*Themeda triandra*) with small clumps of sparse snow gum (*Eucalyptus pauciflora*) on rounded rocky hills and sandy lunettes of former lakes. (DECC 2002, p.138).

**1.7 Plant Community Type identification**

The assessment area was traversed on foot, with vegetation zones mapped using a hand-held GPS, and differentiated by variations in flora species composition. 10 x 10m floristic plots were conducted in each vegetation zone; 7 in total. This plot size was chosen to adequately sample the diversity of vegetation in each zone. Within each plot, all species were identified and the percentage cover of each species was assessed. This helped determine whether the plot was native or exotic dominated.

At the southern end of the property, woodland occurs adjacent with some canopy and scattered trees extending into the assessment area. Nearby trees were identified to assist with determining the plant community type.

Results of the floristic plots and tree identification can be read in Appendix A.

NSW State Vegetation Mapping shows the following Plant Community Types (PCTs) occurring in the assessment area:

- PCT 3747 Southern Tableland Western Hills Scribbly Gum Forest
- PCT 3738 Goulburn-Lithgow Tableland Hills Grassy Forest
- PCT 3650 Goulburn-Lithgow Ranges Silvertop Ash Forest

None of these PCTs are associated with a Threatened Ecological Community (TEC).

PCT 3747 contains a set of eucalypts matching those found at the southern end of the property. While the 18 native plants identified are not sufficient to confidently assign any PCT, PCT 3747 is the most likely.

PCT 3650 includes *Acacia parramattensis*, making it the most likely match for the northern end of the property. There were even fewer species to assist with PCT assignment, so confidence in matching this PCT is low.

The vast majority of the assessment area lacks trees, shrubs, ferns and forbs. In these instances, there are insufficient native species to assign any native Plant Community Type.

**1.7.1 Vegetation zones**

Table 1 Vegetation zones and PCTs

Zone	PCT	TEC	Comment
1 BGW	3747	Box-gum Woodland	Trees were identified inside and nearby the assessment area
2 Regrowth	3747	Box-gum Woodland	Presence of regrowth meets TEC definition
3 Juncus	None	None	Insufficient diversity to classify PCT
4 Heathy grassland	None	None	The Sifton Bush present can become weedy; and is not characteristic of any PCT
5 Grassland	None	None	Insufficient diversity to classify PCT
6 Acacia regrowth	3650	None	<i>Acacia parramattensis</i> indicates likely PCT

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Photographs of each zone follow, in Figures 3 to 8, with a map showing their distribution in Figure 9.



Figure 3 Zone 1: Box-Gum Woodland derived grassland [BGW DGL]. PCT 3747 Southern Tableland Western Hills Scribbly Gum Forest, and TEC Box-gum Woodland.



Figure 4 Zone 2: Regrowth. PCT 3747 Southern Tableland Western Hills Scribbly Gum Forest, and TEC Box-gum Woodland.



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Figure 5 Zone 3: Juncus. No PCT assigned, no TEC present



Figure 6 Zone 4: Heathy grassland. No PCT assigned, no TEC present



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Figure 7 Zone 5: Grassland. No PCT assigned, no TEC present



Figure 8 Zone 6: Acacia regrowth. PCT 3650 Goulburn-Lithgow Ranges Silvertop Ash Forest, no TEC present



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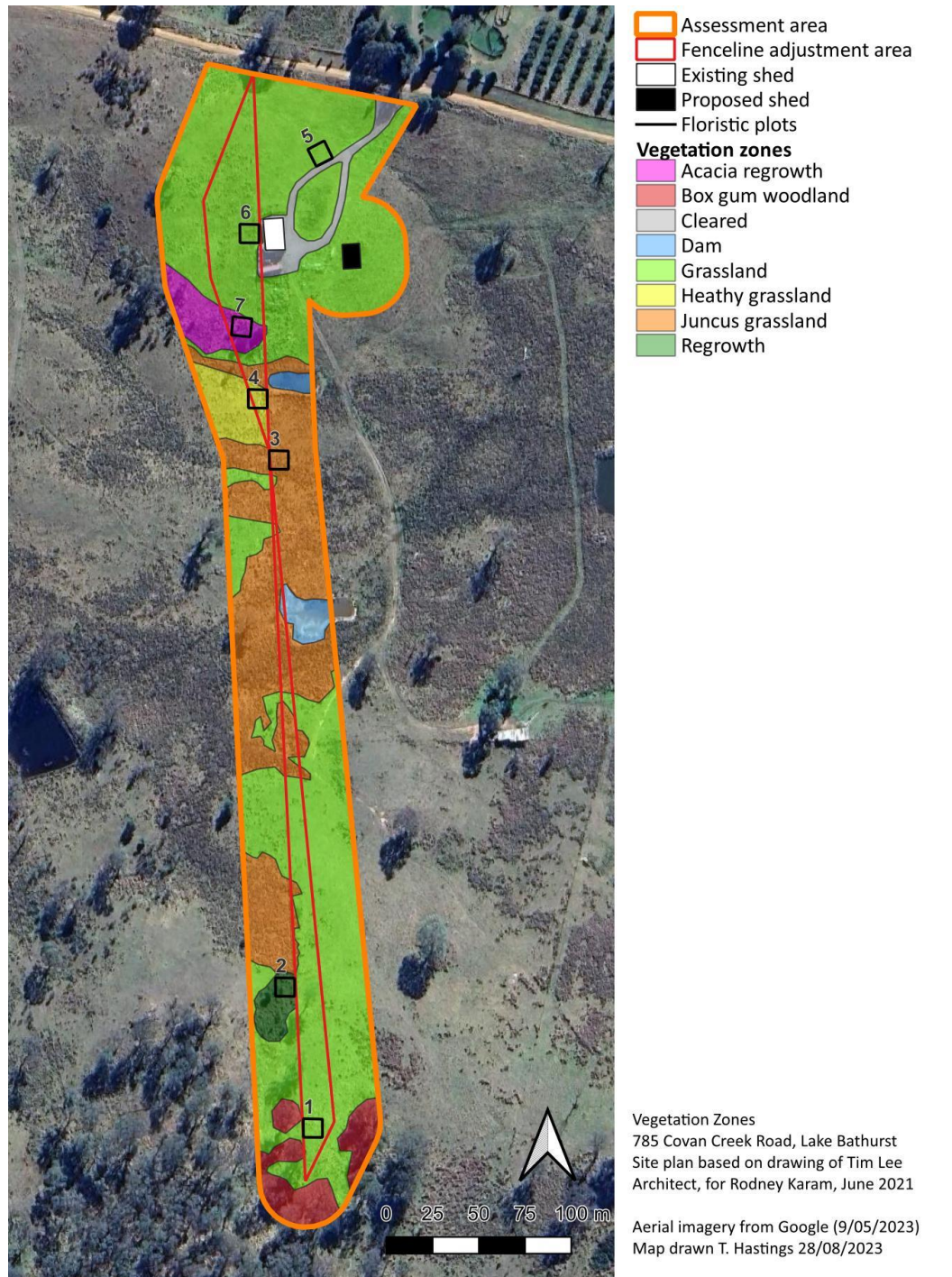


Figure 9 Vegetation zones within the assessment area

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## 2 Threatened species and ecological communities which may be affected

The threatened species listed in the following tables were analysed to determine the likelihood of any species listed occurring in the Study Area. This was based on species data found in the Species Profile and Threats Database (DECCEEW 2023), and Threatened biodiversity profile searches (OEH 2023).

### 2.1 Bionet atlas search

A search of the Bionet Atlas was performed on 21/08/23, for the study area and upto 10km around. A map of the species listed is shown in Appendix C. The species included within a 5km buffer around the assessment area are presented separately, in the following table.

Table 2 Analysis of threatened species within 5km of the Study Area

Class Name	Scientific Name	Common Name	NSW Status	Comm Status	Likelihood of occurrence	Comment
Aves	<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	Vulnerable		Nil	Possibility of occurrence will increase as proposal includes tree planting Nearest record 1km east of site
Aves	<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	Vulnerable		Nil	Possibility of occurrence will increase as proposal includes tree planting Nearest record 900, north-east of site
Aves	<i>Calyptorhynchus lathami lathami</i>	South-eastern Glossy Black-Cockatoo	Vulnerable		Nil	Requires <i>Allocasuarina</i> ; planting of this species would increase potential habitat. Nearest record 2.5km east of site
Species beyond 5km of the Study Area						
Amphibia	<i>Litoria aurea</i>	Green and Golden Bell Frog	Endangered		Nil	Near the shore of Lake Bathurst; 9.3km from Study Area. Only occurs in wetlands
Aves	<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	Vulnerable		Nil	Near Lake Bathurst township; 7.3km east of site. Habitat only significant if 1km from water
Aves	<i>Hieraaetus morphnoides</i>	Little Eagle	Vulnerable		Nil	Near Lake Bathurst township; 7.3km east of site. Hollow-bearing trees important habitat
Aves	<i>Epthianura albifrons</i>	White-fronted Chat	Vulnerable		Nil	Near shore of Lake Bathurst; 9.5km from site
Aves	<i>Petroica boodang</i>	Scarlet Robin	Vulnerable		Unlikely	Nearest record 5.6km west of site
Aves	<i>Petroica phoenicea</i>	Flame Robin	Vulnerable		Unlikely	Nearest record 5.6km west of site
Aves	<i>Stagonopleura guttata</i>	Diamond Firetail	Vulnerable		Unlikely	Nearest record 5.6km west of site
Mammalia	<i>Phascolarctos cinereus</i>	Koala	Endangered		Nil	Requires trees; planting of favoured eucalypts would increase potential habitat. Nearest and most recent record 8km south-east of site, in 1985
Insecta	<i>Keyacris scurra</i>	Key's Matchstick Grasshopper	Endangered		Unlikely	Requires native grasslands. Nearest record 91m south-east of site, near Lake Bathurst, in 2019

### 2.2 EPBC Protected Matters search

An EPBC Protected Matters search was conducted on 21/08/2023, including a 1km buffer around the Study Area. The following tables analyse the results of that search.

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**2.2.1 Migratory Species**

Table 3 Migratory species listed in the EPBC Protected Matters search

Scientific Name	Common Name	Class	Migratory Category	Likelihood of occurrence
<i>Numenius madagascariensis</i>	Eastern Curlew, Far Eastern Curlew	Bird	Migratory Wetlands Species	May occur
<i>Gallinago hardwickii</i>	Latham's Snipe, Japanese Snipe	Bird	Migratory Wetlands Species	Likely
<i>Apus pacificus</i>	Fork-tailed Swift	Bird	Migratory Marine Birds	Likely
<i>Myiagra cyanoleuca</i>	Satin Flycatcher	Bird	Migratory Terrestrial Species	Likely
<i>Rhipidura rufifrons</i>	Rufous Fantail	Bird	Migratory Terrestrial Species	Likely
<i>Calidris melanotos</i>	Pectoral Sandpiper	Bird	Migratory Wetlands Species	May occur
<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	Bird	Migratory Wetlands Species	May occur
<i>Actitis hypoleucos</i>	Common Sandpiper	Bird	Migratory Wetlands Species	May occur
<i>Calidris ferruginea</i>	Curlew Sandpiper	Bird	Migratory Wetlands Species	May occur
<i>Motacilla flava</i>	Yellow Wagtail	Bird	Migratory Terrestrial Species	May occur
<i>Hirundapus caudacutus</i>	White-throated Needletail	Bird	Migratory Terrestrial Species	Likely

**2.2.2 Threatened plant communities**

Table 4 threatened plant communities listed in the EPBC Protected Matters search

Community Name	Status	Likelihood of occurrence
White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland	Critically Endangered	May occur
Natural Temperate Grassland of the South Eastern Highlands	Critically Endangered	Likely to occur

**2.2.3 Threatened Species**

Table 5 threatened species listed in the EPBC Protected Matters search

Scientific Name	Common Name	Class	Simple Presence	Threatened Category
<i>Anthochaera phrygia</i>	Regent Honeyeater	Bird	Likely	Critically Endangered
<i>Aphelocephala leucopsis</i>	Southern Whiteface	Bird	Likely	Vulnerable
<i>Botaurus poiciloptilus</i>	Australasian Bittern	Bird	May occur	Endangered
<i>Calidris ferruginea</i>	Curlew Sandpiper	Bird	May occur	Critically Endangered
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	Bird	Likely	Endangered
<i>Calyptorhynchus lathami lathami</i>	South-eastern Glossy Black-Cockatoo	Bird	May occur	Vulnerable
<i>Climacteris picumnus victoriae</i>	Brown Treecreeper (south-eastern)	Bird	Likely	Vulnerable
<i>Falco hypoleucos</i>	Grey Falcon	Bird	Likely	Vulnerable
<i>Grantiella picta</i>	Painted Honeyeater	Bird	Likely	Vulnerable
<i>Hirundapus caudacutus</i>	White-throated Needletail	Bird	Likely	Vulnerable
<i>Lathamus discolor</i>	Swift Parrot	Bird	May occur	Critically Endangered
<i>Melanodryas cucullata cucullata</i>	South-eastern Hooded Robin, Hooded Robin (south-eastern)	Bird	Likely	Endangered
<i>Neophema chrysostoma</i>	Blue-winged Parrot	Bird	May occur	Vulnerable
<i>Numenius madagascariensis</i>	Eastern Curlew, Far Eastern Curlew	Bird	May occur	Critically Endangered
<i>Polytelis swainsonii</i>	Superb Parrot	Bird	Likely	Vulnerable
<i>Pycnoptilus floccosus</i>	Pilotbird	Bird	May occur	Vulnerable
<i>Rostratula australis</i>	Australian Painted Snipe	Bird	May occur	Endangered

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Scientific Name	Common Name	Class	Simple Presence	Threatened Category
<i>Stagonopleura guttata</i>	Diamond Firetail	Bird	Likely	Vulnerable
<i>Macquaria australasica</i>	Macquarie Perch	Fish	May occur	Endangered
<i>Litoria castanea</i>	Yellow-spotted Tree Frog, Yellow-spotted Bell Frog	Frog	Likely	Critically Endangered
<i>Synemon plana</i>	Golden Sun Moth	Insect	Likely	Vulnerable
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat, Large Pied Bat	Mammal	May occur	Vulnerable
<i>Dasyurus maculatus maculatus</i> (SE mainland population)	Spot-tailed Quoll, Spotted-tail Quoll, Tiger Quoll (southeastern mainland population)	Mammal	Likely	Endangered
<i>Petauroides volans</i>	Greater Glider (southern and central)	Mammal	May occur	Endangered
<i>Petaurus australis australis</i>	Yellow-bellied Glider (south-eastern)	Mammal	Likely	Vulnerable
<i>Phascolarctos cinereus</i> (combined populations of Qld, NSW and the ACT)	Koala (combined populations of Queensland, New South Wales and the Australian Capital Territory)	Mammal	Likely	Endangered
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	Mammal	May occur	Vulnerable
<i>Calotis glandulosa</i>	Mauve Burr-daisy	Plant	May occur	Vulnerable
<i>Diuris aequalis</i>	Buttercup Doubletail	Plant	Likely	Endangered
<i>Dodonaea procumbens</i>	Trailing Hop-bush	Plant	May occur	Vulnerable
<i>Eucalyptus aggregata</i>	Black Gum	Plant	Likely	Vulnerable
<i>Lepidium aschersonii</i>	Spiny Peppercross	Plant	May occur	Vulnerable
<i>Lepidium hyssopifolium</i>	Basalt Pepper-cress, Peppercross, Rubble Pepper-cress, Pepperweed	Plant	Likely	Endangered
<i>Leucochrysum albicans</i> subsp. <i>tricolor</i>	Hoary Sunray, Grassland Paper-daisy	Plant	Likely	Endangered
<i>Pomaderris pallida</i>	Pale Pomaderris	Plant	May occur	Vulnerable
<i>Prasophyllum petilum</i>	Tarengo Leek Orchid	Plant	May occur	Endangered
<i>Rutidosia leptorhynchooides</i>	Button Wrinklewort	Plant	May occur	Endangered
<i>Senecio macrocarpus</i>	Large-fruit Fireweed, Large-fruit Groundsel	Plant	May occur	Vulnerable
<i>Swainsona recta</i>	Small Purple-pea, Mountain Swainson-pea, Small Purple Pea	Plant	May occur	Endangered
<i>Thesium australe</i>	Austral Toadflax, Toadflax	Plant	Likely	Vulnerable
<i>Aprasia parapulchella</i>	Pink-tailed Worm-lizard, Pink-tailed Legless Lizard	Reptile	Likely	Vulnerable
<i>Delma impar</i>	Striped Legless Lizard, Striped Snake-lizard	Reptile	May occur	Vulnerable

**2.2.4 Nationally important wetland:**

No nationally important wetlands occur within in near the assessment area.

**2.2.5 Biologically important area;**

No biologically important areas occur within in near the assessment area.



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### 3 Field surveys may exclude species that do not occur, will not use site habitats, and will not be affected by indirect impacts

A detailed site survey was conducted on 26<sup>th</sup> August 2023, with one ecologist and one botanist spending seven hours assessing all flora species, and all fauna habitats present in the assessment area.

A detailed flora list is included in Appendix A.

#### 3.1 Key’s Matchstick Grasshopper

##### 3.1.1 Species survey

*Keyacris scurra* (Rehn 1952) Key’s Matchstick Grasshopper is a small slender, wingless grasshopper (females ~25 mm, males ~18mm), characterised by its slanted face, splayed hind femora and ensiform antennae (Hope & law 2020, p.1). The Lacks wing buds, has a triangular gap between the base of the head and the thorax, which is present on all matchstick grasshoppers.

Hatching from the egg takes place from January to March. Most males become adult by May, but females overwinter as nymphs and do not mature until the spring. Copulation has been observed in nature from September to the end of December (OEH 2022). During the survey of August 26<sup>th</sup>, males and some females would have been detectable, had they been present. Other grasshopper species were detected, as shown in Figure 11.

Survey techniques used included a sweep-net technique (Gardiner & Chesmore 2005), with a net purchased from Australian Entomological Supplies. The technique involves swinging a net in a semi-circular arc while walking, with the height of the net adjusted to capture grasshoppers as they jump.

Grasshoppers were additionally captured by hand, and by placing a plastic container over them.

After capture, each grasshopper was observed closely, photographed, and then released. Three species were captured, with best photos shown in Figure 11.

📷 Keyacris scurra 🟢 🌿 🟢 (Key's Matchstick Grasshopper)



Figure 10 Photographs of Key’s Matchstick Grasshopper (from nature mapper)

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Figure 11 Photographs of grasshoppers found in the assessment area

The grasshoppers found during the field survey were identified by comparison to images seen in an Orthoptera species pictorial guide: <https://southcoast-nsw.naturemapr.org/categories/guide/1817>

No *Keyacris scurra* were recorded during the survey.

**3.1.2 Habitat assessment**

“This species is typically recorded in native grasslands, secondary native grasslands or areas that contain the native grass *Themeda* with appropriate disturbance regimes” (Hope & law 2020, p.1). These disturbance regimes are characterized by infrequent disturbance.

No *Themeda* was found in the assessment area, or nearby, and the area was highly disturbed, with evidence of land clearing, and heavy grazing.

No *Keyacris scurra* habitat was recorded during the survey.

**3.2 Assessment of Golden Sun Moth, *Synemon plana***

According to Gilmore (et al. 2008), “sites where the Golden Sun Moth is found are generally flat or gently sloping (<5°) and exposed to full sun. Important structural features of habitat appear to be grass tussocks for shelter, egg-laying and larval development and inter-tussock species for basking to increase body temperature and for displaying females to attract males. Habitat for the species is usually comprised of a moderate abundance of larval food plants with low to moderate grass height and moderate to high grass cover with inter-tussock space (ACT Government 2017). Field observations at some sites indicate that where both closed and open grassland occur in close proximity, dense swards of grasses appeared to be actively avoided, with male moths showing a preference for relatively open areas with reduced biomass”.

Survey period is late October-January (DEWHA 2009).

The assessment area does loosely match the Golden Sun Moth habitat, mostly at the southern end of the assessment area, where a higher diversity of grasses exists and the tussocks are taller. The proposal to move the fence will not impact on these habitat characteristics, and it was observed that the sheep grazing on 785 Covan Ck Rd had a higher impact on the grasses than the horse grazing occurring over the fence. Shifting the fence further onto 785 at the south end will increase protection of the Golden Sun Moth’s potential habitat.

**3.3 Austral toadflax**

Austral toadflax, *Thesium australe*, is associated with Kangaroo Grass; *Themeda australis* (OEH 2023). No *Themeda* was found in the assessment area, which suggests the possibility of *Thesium australe* occurring is highly unlikely.

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### 3.4 Assessment of Natural Temperate Grassland

Natural Temperate Grassland of the South Eastern Highlands is listed as a critically endangered ecological community under the Environment Protection Biodiversity Conservation Act 1999 (Commonwealth). It is not listed as threatened in New South Wales.

The major dominant or co-dominant grass species in Natural Temperate Grassland of the South Eastern Highlands are (DoE 2016, p.10); *Themeda triandra* syn. *T. australis* (kangaroo grass), *Poa sieberiana* (snowgrass), *Poa labillardierei* (river tussock grass), *Austrostipa bigeniculata* (kneed speargrass), *Austrostipa scabra* (slender speargrass), *Bothriochloa macra* (red grass), various *Rytidosperma* species syn. *Austrodanthonia* species (wallaby grasses) and *Lachnagrostis* spp. (blowngrasses)

Other grasses that commonly occur, and might form a dominant area within a patch, include; *Aristida* spp. (wiregrasses), *Austrostipa densiflora* (fox-tail speargrass), *Dichelachne* spp. (plumegrasses), indigenous *Eragrostis* spp. (lovegrasses) and *Poa meionectes* (fine-leaf tussock-grass, short snowgrass).

Other grasses that are frequently present, though seldom dominant, include; *Anthosachne scaber* syn. *Elymus scaber* (common wheatgrass), *Panicum effusum* (hairy panic), *Chloris truncata* (windmill grass), and *Enneapogon nigricans* (nine-awned grass).

Native sedges may be dominant or co-dominant in some associations, typically *Carex appressa* (tussock sedge) or *C. bichenoviana* (plains sedge).

7 of these grasses were found in the assessment area.

However, “the dominant or co-dominant grasses occur in association with a range of other native herbaceous species, including many forbs and graminoids” (DoE 2016, p.6). Only 2 forbs were detected; dried remnants of last season’s flowers: *Craspedia canens* (Grey Billy-buttons) and *Chrysocephalum apiculatum* (Common Everlasting).

Further, “The area is not a derived or secondary grassland (i.e. a grassland derived from clearing of a woodland or forest community)” (DoE 2016, p.11). The woodland surrounding the assessment area makes it clear that it is a derived grassland. The forest has been cleared and a long history of disturbance, principally grazing, has depleted the natural diversity.

The assessment area fails to meet the key diagnostic characteristics of the ecological community Natural Temperate Grassland of the South Eastern Highlands.

### 3.5 Assessment of box-gum woodland

The threatened ecological community (TEC) of “White Box-Yellow Box-Blakely’s Red Gum Grassy Woodland and Derived Native Grassland”, which is generally called Box Gum Woodland, is listed as Critically Endangered under the EPBC Act 1999 (Clth). In NSW, the Box Gum Woodland community is also listed as Critically Endangered, and titled “White Box - Yellow Box - Blakely’s Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions”.

In the following text, a question and answer flowchart is applied to determine if the patches of vegetation in the assessment area are the ecological community of EPBC listed Box-Gum Woodland (DEH 2006, p.5):

Is, or was previously, at least one of the most common overstorey species White Box, Yellow Box or Blakely’s Red Gum?

- Yes, at the southern end of the site

Does the patch have a predominantly native understorey?

- Yes in Plot 1 (Box-gum Woodland derived grassland): 73% native grasses
- Yes in Plot 2 (Regrowth): over 80% native understorey
- Yes in Plot 3 (juncus): 90% native understorey
- No in Plot 4 (heath): 26% native understorey

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- Yes in Plot 5 (grassland): 95% native understorey
- No in Plot 6 (grassland): 32% native understorey
- Yes in Plot 7 (Acacia regrowth): around 80% native understorey

Is the patch 0.1ha or greater in size?

- Yes; extending beyond the assessment area, the patches of native dominated understorey are much greater than 0.1ha.

Are there 12 or more native understorey species present (excluding grasses)? And; there must be at least one important species (from specified list)

- No; only 2 forbs and 2 shrubs were found across the assessment area.

Is the patch 2 ha or greater in size?

- If no, then not the listed ecological community
- If yes, then does the patch have an average of 20 or more mature trees per hectare, or is there natural regeneration of the dominant overstorey eucalypts?
  - No for most of the assessment area: not the listed ecological community
  - Yes for Plot 2 (regrowth), and where the forest remains at the south end of the site. The listed ecological community occurs here.

This flowchart confirms that the Threatened Ecological Community of Box Gum Woodland is identified where trees occur at the south end of the assessment area, and where Eucalypt regrowth occurs. These areas are shown in Figure 13.

To determine of the NSW listed community occurs, the key question is “If the site has been degraded, is there potential for assisted natural regeneration of the tree layer or the understorey (e.g. by removing grazing, weeds, etc)?” (DECC 2007). The natural regeneration that has occurred indicates that this would only be true for some patches at the southern end of the site. The NSW and EPBC listed TECs are likely to occur in the sale locations identified above.

While Box Gum Woodland occurs in the assessment area, a single tree representing the community occurs within the area that may be impacted, and this tree will not be felled during the realignment of the fence.



Figure 12 Box Gum Woodland adjacent to the south end of the assessment area



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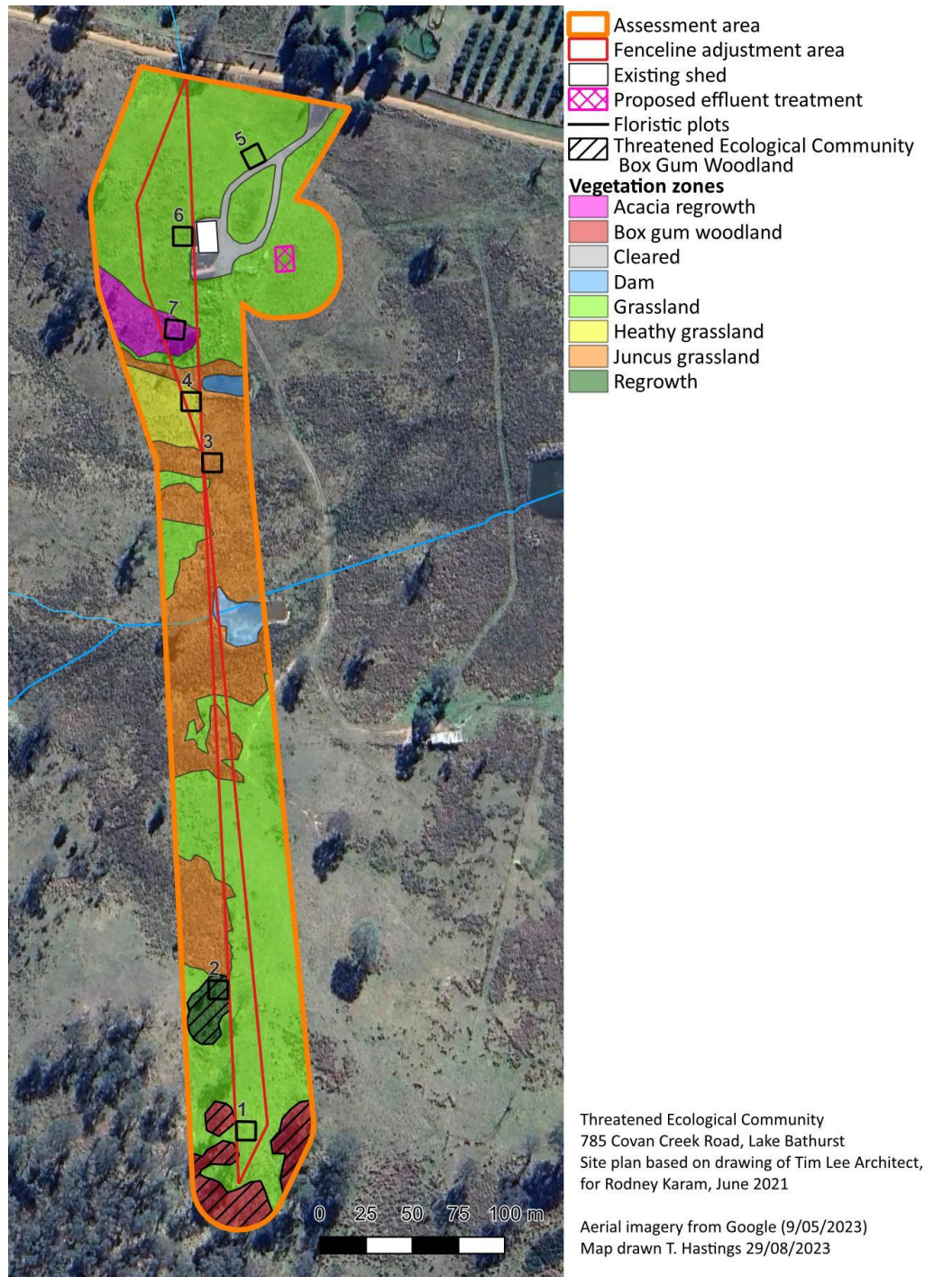


Figure 13 Location of Threatened Ecological Community

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#### 4 Assessment of outstanding biodiversity value

No areas of outstanding biodiversity value are mapped as occurring in or near the assessment area, and none were found during the survey.

#### 5 Assessment of key threatening processes

A threat may be listed as a key threatening process under the *Biodiversity Conservation Act 2016* (NSW) if it:

- Adversely affects threatened species or ecological communities, or
- Could cause species or ecological communities to become threatened.

Processes listed under the BC Act include:

- Clearing of native vegetation
- Ecological consequences of high frequency fires
- Removal of dead wood and dead trees

This proposal does not include any key threatening process.

#### 6 Interpreting the factors of the test of significance:

##### 6.1 Adverse effects on the life cycle of a species, communities & habitats

The following table summarises the threatened species identified above, that may possibly occur in the study area, and considers what impact the moving of the fence, creation of an effluent treatment system and moving a shipping container might have on each of these species.

Table 6 Adverse effects on life cycle of species and communities present

Class Name	Scientific Name	Common Name	Likelihood of occurrence	Adverse effects
Insecta	<i>Keyacris scurra</i>	Key's Matchstick Grasshopper	Unlikely; key habitat elements not present	None; the best quality grassland occurs at the south end of the property, where the moving of the fence is likely to increase biodiversity
Insecta	<i>Synemon plana</i>	Golden Sun Moth	Possible	The assessment area does loosely match the Golden Sun Moth habitat, mostly at the southern end, where a higher diversity of grasses exists and the tussocks are taller. The proposal to move the fence will not impact on these habitat characteristics
Plant	<i>Thesium australe</i> ,	Austral toadflax	Nil	No habitat present
Threatened Ecological Community			Likelihood of occurrence	Adverse effects
Natural Temperate Grassland of the South Eastern Highlands			Nil	No adverse effect
White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland			Does occur	None; the TEC occurs at the south end of the property, where the moving of the fence is likely to increase biodiversity
White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions			Does occur	None; the TEC occurs at the south end of the property, where the moving of the fence is likely to increase biodiversity

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**6.2 Applying the test to the impact footprint**

Most of the impact will occur at the north end of the property, where the effluent treatment system is proposed. This area of grassland does have patches of native dominated grass. No threatened species or communities were found, and the proposal is not likely to impact on native biodiversity.

Moving the boundary fence is considered to be positive for biodiversity; there will be lower grazing pressure in the more ecologically valuable patches. The moving of the fence is likely to be low impact, as the star picket fence will be replaced with another the same, and no trees will be felled during the operation.

The planting of screening vegetation is likely to increase habitat for native fauna, even if it includes removing the small patch of Acacia regrowth.

**7 Decision-making**

To assist in evaluating the impacts of the proposed development, the following table considers each element and the zone impacted:

Table 7 Assessment of proposed development impacts

Proposal element	Zone impacted	Assessment
Effluent treatment system	Grassland	Patches of native grass may be impacted. No threatened species or communities affected
Moved shipping container	Grassland	Patches of native grass may be impacted. No threatened species or communities affected
Planting of screening vegetation	Grassland	Potential increase in biodiversity and habitat values
	Acacia regrowth	Possibly some loss of native shrubs, offset by planting of other shrubs and trees
Moving fence to new boundary	Grassland	Negligible impact
	Acacia regrowth	Negligible impact
	Juncus grassland	Negligible impact
	Heathy grassland	Negligible impact
	Regrowth	Negligible or no impact
	Box Gum Woodland	Negligible or no impact

The key information to consider in deciding if the proposal has significant impact on any threatened species or community, is that:

- The grassland mostly impacted by the proposal does contain native-dominated patches. At the north end of the property, where the screening vegetation and effluent treatment system is planned, these do not form any threatened ecological community, or threatened species habitat.
- The Box Gum Woodland at the south end of the property will not be directly impacted by moving the boundary fence. It is likely to have positive benefit from lower grazing pressure after the boundary is moved.

**8 Conclusion**

This Test of Significance finds that the proposed development will not have any negative impacts on threatened species or communities.



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**Appendix A Flora species**

**Tree species identified near southern end of assessment area:**

Scientific Name	Common Name	Family	Exotic	Growth Form
<i>Eucalyptus pauciflora</i>	White Sally	Myrtaceae		Tree (TG)
<i>Eucalyptus melliodora</i>	Yellow Box	Myrtaceae		Tree (TG)
<i>Eucalyptus blakelyi</i>	Blakely's Red Gum	Myrtaceae		Tree (TG)
<i>Eucalyptus macrorhyncha</i>	Red Stringybark	Myrtaceae		Tree (TG)
<i>Eucalyptus polyanthemos</i>	Red Box	Myrtaceae		Tree (TG)
<i>Cassinia arcuata</i>	Sifton Bush	Asteraceae		Shrub (SG)
<i>Daviesia mimosoides</i>		Fabaceae (Faboideae)		Shrub (SG)
<i>Acacia dealbata</i>	Silver Wattle	Fabaceae (Mimosoideae)		Tree (TG)
<i>Wahlenbergia gracilentia</i>	Annual Bluebell	Campanulaceae		Forb (FG)
<i>Hypoxis hygrometrica</i>	Golden Weather-grass	Hypoxidaceae		Forb (FG)

**Plot 1; Box Gum Woodland derived grassland**

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Aristida warburgii</i>	Fine-leaved wiregrass	Poaceae	50		Grass & grasslike (GG)	No
<i>Austrostipa aristiglumis</i>	Plains Grass	Poaceae	2		Grass & grasslike (GG)	No
<i>Austrostipa bigeniculata</i>	Yanganbil	Poaceae	2		Grass & grasslike (GG)	No
<i>Austrostipa scabra</i>	Speargrass	Poaceae	1		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	1		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>	Juncus	Juncaceae	1		Grass & grasslike (GG)	No
<i>Poa labillardierei</i> var. <i>labillardierei</i>	Tussock	Poaceae	1		Grass & grasslike (GG)	No
<i>Poa sieberiana</i>	Snowgrass	Poaceae	15		Grass & grasslike (GG)	No
<i>Acetosella vulgaris</i>	Sheep Sorrel	Polygonaceae	2	*		HTE
<i>Aira caryophylla</i>	Silvery Hairgrass	Poaceae	1	*		No
<i>Hypochaeris glabra</i>	Smooth Catsear	Asteraceae	0.5	*		No
<i>Hypochaeris radicata</i>	Catsear	Asteraceae	0.5	*		No
<i>Onopordum acanthium</i> subsp. <i>acanthium</i>	Scotch Thistle	Asteraceae	2	*		No
<i>Onopordum</i> spp.	Thistle	Asteraceae	0.5	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	10	*		No
<i>Taraxacum officinale</i>	Dandelion	Asteraceae	0.1	*		No
<i>Trifolium repens</i>	White Clover	Fabaceae (Faboideae)	2	*		No
<i>Trifolium subterraneum</i>	Subterranean Clover	Fabaceae (Faboideae)	5	*		No

**Plot 2; Regrowth**

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Acacia parramattensis</i>	Parramatta Wattle	Fabaceae (Mimosoideae)	5		Tree (TG)	No
<i>Eucalyptus polyanthemos</i>	Red Box	Myrtaceae	7		Tree (TG)	No
<i>Cassinia arcuata</i>	Sifton Bush	Asteraceae	2		Shrub (SG)	No
<i>Ozothamnus diosmifolius</i>	White Dogwood	Asteraceae	0.5		Shrub (SG)	No

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Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Aristida warburgii</i>		Poaceae	10		Grass & grasslike (GG)	No
<i>Austrostipa bigeniculata</i>	Yanganbil	Poaceae	50		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	1		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>		Juncaceae	1		Grass & grasslike (GG)	No
<i>Poa labillardierei</i> var. <i>labillardierei</i>	Tussock	Poaceae	20		Grass & grasslike (GG)	No
<i>Acetosella vulgaris</i>	Sheep Sorrel	Polygonaceae	0.1	*		HTE
<i>Conyza sumatrensis</i>	Tall fleabane	Asteraceae	2	*		No
<i>Hypochaeris glabra</i>	Smooth Catsear	Asteraceae	5	*		No
<i>Hypochaeris radicata</i>	Catsear	Asteraceae	1	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	1	*		No

Plot 3; *Juncus* grassland

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Austrostipa scabra</i>	Speargrass	Poaceae	20		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	40		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>		Juncaceae	15		Grass & grasslike (GG)	No
<i>Poa sieberiana</i>	Snowgrass	Poaceae	15		Grass & grasslike (GG)	No
<i>Hypochaeris glabra</i>	Smooth Catsear	Asteraceae	0.5	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	9	*		No
<i>Taraxacum officinale</i>	Dandelion	Asteraceae	0.5	*		No

Plot 4; heathy grassland

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Cassinia arcuata</i>	Sifton Bush	Asteraceae	5		Shrub (SG)	No
<i>Austrostipa scabra</i>	Speargrass	Poaceae	5		Grass & grasslike (GG)	No
<i>Juncus filicaulis</i>		Juncaceae	0.5		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>		Juncaceae	0.5		Grass & grasslike (GG)	No
<i>Poa labillardierei</i> var. <i>labillardierei</i>	Tussock	Poaceae	15		Grass & grasslike (GG)	No
<i>Craspedia canens</i>	Grey Billy-buttons	Asteraceae	0.2		Forb (FG)	No
<i>Conyza sumatrensis</i>	Tall fleabane	Asteraceae	1	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	70	*		No

Plot 4; heathy grassland

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Aristida warburgii</i>		Poaceae	20		Grass & grasslike (GG)	No
<i>Austrostipa aristiglumis</i>	Plains Grass	Poaceae	60		Grass & grasslike (GG)	No
<i>Cynodon dactylon</i>	Common Couch	Poaceae	1		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	10		Grass & grasslike (GG)	No
<i>Poa sieberiana</i>	Snowgrass	Poaceae	5		Grass & grasslike (GG)	No
<i>Rytidosperma</i> spp.		Poaceae	5		Grass & grasslike (GG)	No
<i>Chrysocephalum apiculatum</i>	Common Everlasting	Asteraceae	1		Forb (FG)	No

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Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	5	*		No
<i>Taraxacum officinale</i>	Dandelion	Asteraceae	0.1	*		No

**Plot 5; grassland**

\*low confidence due to lack of viable seed heads

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Aristida warburgii</i>		Poaceae	20		Grass & grasslike (GG)	No
<i>Austrostipa aristiglumis</i>	Plains Grass	Poaceae	60		Grass & grasslike (GG)	No
<i>Cynodon dactylon</i>	Common Couch	Poaceae	1		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	10		Grass & grasslike (GG)	No
<i>Poa sieberiana</i>	Snowgrass	Poaceae	5		Grass & grasslike (GG)	No
<i>Rytidosperma spp.</i>		Poaceae	5		Grass & grasslike (GG)	No
<i>Chrysocephalum apiculatum</i>	Common Everlasting	Asteraceae	1		Forb (FG)	No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	5	*		No
<i>Taraxacum officinale</i>	Dandelion	Asteraceae	0.1	*		No

**Plot 6; grassland**

\*low confidence due to grazing

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Ozothamnus diosmifolius</i>	White Dogwood	Asteraceae	0.5		Shrub (SG)	No
<i>Austrostipa bigeniculata</i>	Yanganbil	Poaceae	20		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>		Juncaceae	1		Grass & grasslike (GG)	No
<i>Poa labillardierei</i> var. <i>labillardierei</i>	Tussock	Poaceae	5		Grass & grasslike (GG)	No
<i>Rytidosperma spp.</i>		Poaceae	5		Grass & grasslike (GG)	No
<i>Chrysocephalum apiculatum</i>	Common Everlasting	Asteraceae	1		Forb (FG)	No
<i>Hypochaeris glabra</i>	Smooth Catsear	Asteraceae	0.1	*		No
<i>Phalaris aquatica</i>	Phalaris	Poaceae	30	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	38	*		No

**Plot 7; Acacia regrowth**

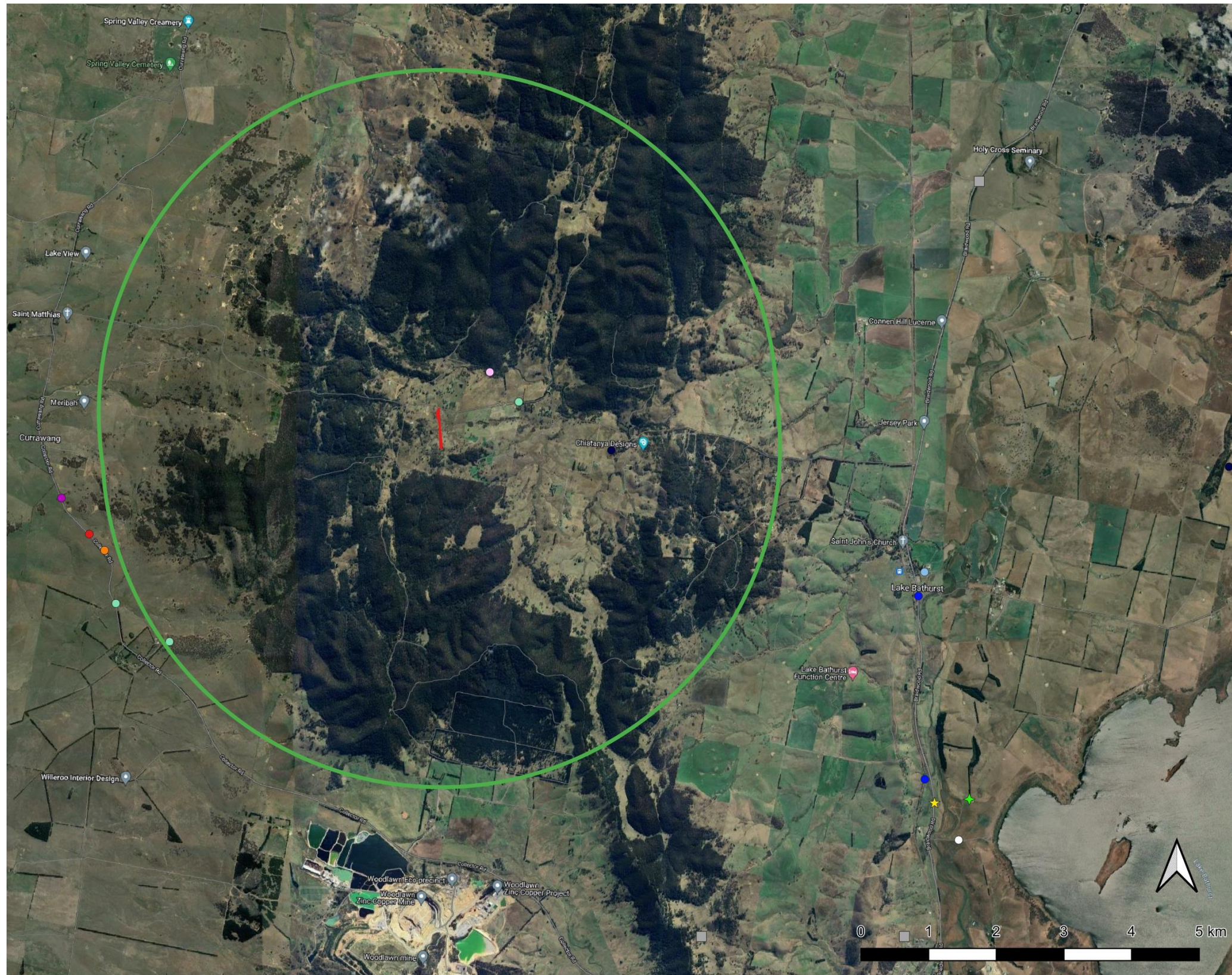
Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Acacia parramattensis</i>	Parramatta Wattle	Fabaceae (Mimosoideae)	60		Tree (TG)	No
<i>Cassinia arcuata</i>	Sifton Bush	Asteraceae	0.1		Shrub (SG)	No
<i>Ozothamnus diosmifolius</i>	White Dogwood	Asteraceae	0.5		Shrub (SG)	No
<i>Austrostipa bigeniculata</i>	Yanganbil	Poaceae	10		Grass & grasslike (GG)	No
<i>Eragrostis leptocarpa</i>	Drooping Lovegrass	Poaceae	1		Grass & grasslike (GG)	No
<i>Juncus gregiflorus</i>		Juncaceae	0.5		Grass & grasslike (GG)	No
<i>Rytidosperma spp.</i>		Poaceae	1		Grass & grasslike (GG)	No
<i>Chrysocephalum apiculatum</i>	Common Everlasting	Asteraceae	0.1		Forb (FG)	No
<i>Rumex spp.</i>	Dock	Polygonaceae	0.1	*	Forb (FG)	No
<i>Pteridium esculentum</i>	Bracken	Dennstaedtiaceae	10		Fern (EG)	No

Test of Significance Report

Scientific Name	Common Name	Family	% Cover	Exotic	Growth Form	High Threat?
<i>Acetosella vulgaris</i>	Sheep Sorrel	Polygonaceae	0.1	*		HTE
<i>Hypochaeris glabra</i>	Smooth Catsear	Asteraceae	0.1	*		No
<i>Onopordum acanthium</i> <i>subsp. acanthium</i>	Scotch Thistle	Asteraceae	0.1	*		No
<i>Phalaris aquatica</i>	Phalaris	Poaceae	10	*		No
<i>Phalaris minor</i>	Lesser Canary Grass	Poaceae	7	*		No
<i>Taraxacum officinale</i>	Dandelion	Asteraceae	0.1	*		No



Appendix B Bionet Atlas Map



- Fenceline adjustment area
- 5km buffer
- Atlas records
- Barking Owl
- Diamond Firetail
- Eastern Pygmy-possum
- Flame Robin
- Gang-gang Cockatoo
- ▲ Grey-headed Flying-fox
- Little Eagle
- Little Lorikeet
- Scarlet Robin
- Sooty Owl
- Spotted-tailed Quoll
- Swift Parrot
- White-throated Needletail
- ◆ Yellow-bellied Glider

Bionet Atlas records  
Accessed 21/08/2023

785 Covan Creek Road, Lake Bathurst  
Site plan based on drawing of Tim Lee  
Architect, for Rodney Karam, June 2021

Aerial imagery from Google (9/05/2023)  
Map drawn T. Hastings 29/08/2023





**16.2 TENDER 2324T0005 GPAC GRID FLOOR INSTALLATION**

**Author:** Business Manager Community Facilities

Director Operations

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** Nil

<b>Link to Community Strategic Plan:</b>	19. Our Infrastructure IN4 Maintain and update existing community facilities, and support the development of new community infrastructure as needed.
<b>Cost to Council:</b>	Nil as a result of this report.
<b>Use of Reserve Funds:</b>	Nil as a result of this report

**RECOMMENDATION**

That:

1. The report from the Business Manager Community Facilities on Tender 2324T0005 GPAC Grid Floor Installation be received.
2. No tenders were received for the proposed contract and under Clause 178.3 (e) of the Local Government (General) Regulation 2021, Council enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contract in relation to the subject matter of the tender.
3. Under Clause 178.4 (b) of the Local Government (General) Regulation 2021 Council enter into negotiations with a person with the view of entering into a contract in relation to the subject matter of the tender based on no interest received during the open tender process.
4. The Chief Executive Officer be given delegated authority to award the contract after negotiations have been finalised.

**BACKGROUND**

Tenders were called for the installation of a grid floor at the Goulburn Performing Arts Centre (GPAC). A grid floor is a requirement in this facility as it enables staff to safely access equipment within the fly tower. This grid floor is also a requirement for enabling annual inspections of the equipment to maintain certification.

**REPORT**

Tenders were called for 2324T0005 GPAC Grid Floor Installation on 31 October 2023.

The tender process was conducted in accordance with the requirements of the *Local Government Act 1993, Local Government (General) Regulation 2005* and the Tendering Guidelines of NSW Local Government (General) Regulation 2009.

Tenders closed on 12 December 2023. No submissions were received at closing time. Due to this a detailed evaluation cannot be completed.

The evaluation panel recommend that Council cancel the proposal for the contract under Clause 178.3 A (a) of the Local Government (General) Regulation 2.

*Clause 178.3 A Council that decides not to accept any of the tenders for a proposed contact or receives no tenders for the proposed contacts must, by resolution do one of the following:*

- (a) postpone or cancel the proposal for the contract,

- (b) *invite, in accordance with clause 167, 168 or 169, fresh tenders based on the same or different details,*
- (c) *invite, in accordance with clause 168, fresh applications from persons interested in tendering for the proposed contract,*
- (d) *invite, in accordance with clause 169, fresh applications from persons interested in tendering for contracts of the same kind as the proposed contract,*
- (e) *enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contact in relation to the subject matter of the tender,*
- (f) *carry out the requirements of the proposed contract itself.*

*If a Council resolves to enter into negotiations as referred to in subsection (3)(e) the resolution must state the following –*

- (a) *the Council's reasons for declining to invite fresh tender submissions or applications as referred to in subsection (3)(b) – (d)*
- (b) *the Council's reasons for determining to enter into with the person or persons referred to in subsection (3)(e).*

Council is declining to invite fresh tenders due lack of interest shown in the market, as demonstrated with no submissions received through an open tender process.

This report recommends that Council enter into negotiations with any person with the view of entering into a contract in relation to the subject matter of the tender.

**16.3 VP361411 RFQ PLANT 9008 REAR COMPACTOR GARBAGE TRUCK**

**Author:** Operations Centre Manager  
 Director Operations

**Authoriser:** Aaron Johansson, Chief Executive Officer

- Attachments:**
1. RFS Plant 9008 Rear Compactor Garbage Truck Signed Final Evaluation 20231208.pdf - Confidential
  2. RFS Plant 9008 Rear Compactor Garbage Truck Signed Evaluation Summary Report 20231208.pdf - Confidential

<b>Link to Community Strategic Plan:</b>	21. Our Infrastructure IN6 Implement safe, accessible, and efficient management and recycling options for general waste, green waste, and sewage.
<b>Cost to Council:</b>	This purchase is for \$465,600.00 (excl. GST) and to be funded from within the 2023/24 Heavy Fleet Replacement Program.
<b>Use of Reserve Funds:</b>	Plant Replacement Reserve – balance as at 30 June 2023 is \$1,925,572.

**RECOMMENDATION**

That

1. The report of the Operations Centre Manager for the replacement of Plant 9008 Rear Compactor Garbage Truck be received.
2. Council approves the purchase from Garwood International Pty Ltd for a Mercedes Econic Chassis with a Garwood Maxipact Body at a cost of \$465,600.00 (excl. GST).
3. Unexpended funds be carried forward to 2024-2025 financial year budget and additional funds are allocated from the Plant Replacement Reserve to fund the budget shortfall.
4. Funds be allocated from Plant Reserve within the 2024/25 Budget to fund additional \$5,600.00 excl. GST from original 2023/24 Heavy Fleet Replacement Program Budget.

**BACKGROUND**

This report summarises quotations received for the supply of a rear compactor garbage truck to replace the current Plant 9008 that is at the end of its useful life.

Plant 9008 is currently five years old and has over 10,600 hours. This vehicle is used by Council’s Waste and Recycling team to support the collections of commercial waste.

**REPORT**

Request for Quotations (RFQ) were called on 31 August 2023 through under VP 361411.

The RFQ process was conducted in accordance with the requirements of the Local Government Act 1993, Local Government (General) Regulation 2005 and the Tendering Guidelines of NSW Local Government (General) Regulation 2009.

The RFQ closed on 21 September 2023. Seven submissions were received from the following companies.

Company	Address
Bucher Municipal Pty Ltd	Unit 2/9 Enterprise Place, WETHERILL PARK NSW 2164
Dennis Eagle	156 Uriarra Road, CRESTWOOD NSW 2620
Garwood International	3 Hexham Place, WETHERILL PARK NSW 2164
Garwood International	3 Hexham Place, WETHERILL PARK NSW 2164
Isuzu Australia	2 Lorn Road, QUEANBEYAN NSW 2620
Manco Engineering	20 Hargraves Place, WETHERILL PARK NSW 2164
Volvo Trucks	223-225 Berkeley Road, UNANDERRA NSW 2526

A detailed evaluation of the submission was undertaken in line with the approved RFQ Plan. A detailed evaluation is attached to this report.

Following the completion of the request for quotation evaluation process, the panel recommended that the submission from Garwood International Pty Ltd be approved as the preferred supplier in accordance with the documentation for VP 361411 for a rear compactor garbage truck, as it was ranked first in the overall value for money rankings.

Forecasted budget for this plant was \$460,000 excl. GST. The time between the original estimates being obtained and the RFQ being undertaken has resulted in a quotation of \$465,600.00 excl GST which is a shortfall of \$5,600.00 excl GST.

The preferred supplier has advised that delivery time for this vehicle is up to 20 weeks from the placement of an order for the compactor body, but will be dependent on the availability of a cab chassis. Given that this item of plant will likely not be finalised until after the 30 June 2024, it is requested that unexpended funds from this purchase be carried forward to 2024-2025 financial year budget and additional funds are allocated from the Plant Replacement Reserve to fund the budget shortfall.

The Evaluation Report is included with the Closed Session reports in accordance with s10A(2)(d) *Local Government Act 1993* as it contains commercial information that would, if disclosed, prejudice the commercial position of the person who supplied it. It is not appropriate for this to be provided in an Open Session as it relates to tender information.

**16.4 VP361418 RFQ PLANT 9072 AND 9076 SIDE COMPACTOR GARBAGE TRUCKS**

**Author:** Operations Centre Manager

Director Operations

**Authoriser:** Aaron Johansson, Chief Executive Officer

- Attachments:**
1. RFQ Plant 9072\_9076 Side Compactor Garbage Trucks Signed Evaluation Summary Report 20231212.pdf - Confidential
  2. RFQ Plant 9072\_9076 Side Compactor Garbage Trucks Signed Final Evaluation 20231212.pdf - Confidential

<b>Link to Community Strategic Plan:</b>	21. Our Infrastructure IN6 Implement safe, accessible, and efficient management and recycling options for general waste, green waste, and sewage.
<b>Cost to Council:</b>	This purchase is for \$1,038,400.00 (excl. GST) and to be funded from within the 2023/24 Heavy Fleet Replacement Program.
<b>Use of Reserve Funds:</b>	Plant Replacement Reserve – balance as at 30 June 2023 is \$1,925,572.

**RECOMMENDATION**

That:

1. The report of the Operations Centre Manager for the replacement of Plant 9072 and new plant 9076 Side Compactor Garbage Trucks be received.
2. Council approves the purchase from Isuzu Australia Limited for two Isuzu FVY Chassis with a Bucher Compactor body at a cost of \$1,038,400.00 (excl. GST).
3. Unexpended funds be carried forward to 2024-2025 financial year budget and additional funds are allocated from the Plant Replacement Reserve to fund the budget shortfall.
4. Funds be allocated from Plant Reserve within the 2024/25 Budget to fund an additional \$118,400.00 excl. GST from original 2023/24 Heavy Fleet Replacement Program Budget.

**BACKGROUND**

This report summarises quotations received for the supply of two side compactor garbage trucks to replace current Plant 9072 that the end of their useful life and the purchase of a new side compactor garbage truck, 9076.

Plant 9072 has over 10,500 hours. Plant 9076 will be an additional domestic waste collection vehicle to improve overall efficiencies and productivity for the collection of domestic waste. The additional vehicle was budgeted for inclusion within the 2023/24 Heavy Fleet Replacement Program.

**REPORT**

Request for Quotations (RFQ) were called on 31 August 2023 through under VP 361418.

The RFQ process was conducted in accordance with the requirements of the Local Government Act 1993, Local Government (General) Regulation 2005 and the Tendering Guidelines of NSW Local Government (General) Regulation 2009



The RFQ closed on 21 September 2023. Five submissions were received from the following companies.

Company	Address
Superior Pak Pty Ltd	6-8 Squil Place, ARNDELL PARK NSW 2148
Bucher Municipal Pty Ltd	65-73 Nantilla road, CLAYTON NORTH VIC 3168
Dennis Eagle	156 Uriarra Road, QUEANBEYAN NSW 2620
Isuzu Australia	2 Lorn Street, QUEANBEYAN NSW 2620
Volvo Trucks	223-225 Berkeley Road, UNANDERRA NSW 2526

A detailed evaluation of the submission was undertaken in line with the approved RFQ Plan. A detailed evaluation is attached to this report.

The number one ranked submission was for 2020 model chassis' that were in stock and available to the supplier at the time of the RFQ being advertised. They advised that stock was limited and that supply would need to be confirmed prior to an order taking place. Confirmation was sought from the first ranked supplier prior to the final evaluation report being completed and the supplier advised that the cab chassis options submitted were no longer available, therefore this submission was unable to be fulfilled and the next ranked supplier was deemed the preferred supplier.

Following the completion of the request for quotation evaluation process, the panel recommended that the submission from Isuzu Australia Limited be approved as the preferred supplier in accordance with the documentation for VP 361418 for two side compactor garbage trucks, as it was ranked first in the overall value for money rankings.

Forecasted budget for this plant was \$920,000 excl. GST. The time between the original estimates being obtained and the RFQ being undertaken has resulted in a quotation of \$1,038,400.00 excl GST which is a shortfall of \$118,400.00 excl GST.

The preferred supplier has advised that delivery time for these vehicles is up to six months from the placement of an order for the compactor body but will be dependent on the availability of a cab chassis. Given that this item of plant will likely not be finalised until after the 30 June 2024, it is requested that unexpended funds from this purchase be carried forward to 2024-2025 financial year budget and additional funds are allocated from the Plant Replacement Reserve to fund the budget shortfall.

The Evaluation Report is included with the Closed Session reports in accordance with s10A(2)(d) *Local Government Act 1993* as it contains commercial information that would, if disclosed, prejudice the commercial position of the person who supplied it. It is not appropriate for this to be provided in an Open Session as it relates to tender information.

**16.5 REGIONAL PRECINCTS PARTNERSHIP PROGRAM**

**Authors:** Director Operations  
 Senior Grants Officer  
 Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** Nil

<b>Link to Community Strategic Plan:</b>	19. Our Infrastructure IN4 Maintain and update existing community facilities, and support the development of new community infrastructure as needed.
<b>Cost to Council:</b>	The total cost of the project is approximately \$13,900,000 with \$3,600,854 confirmed funding from the State Government.
<b>Use of Reserve Funds:</b>	Nil

<p><b>RECOMMENDATION</b></p> <p>That</p> <ol style="list-style-type: none"> <li>The report from the Senior Grants Officer on application to the Regional Precincts and Partnership Program be received.</li> <li>Council endorses the Regional Precincts and Partnership Program application – Stream 2: Project Delivery for Carr Confoy Pavilion.</li> </ol>
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**BACKGROUND**

At a briefing session on 28 November 2023, the Director of Operations presented an option to apply to the Regional Precincts and Partnership Program for Carr Confoy Pavilion for the gap funding required to undertake construction of the Pavilion.

The Federal Governments grant, Regional Precincts and Partnership Program (RPPP) is currently open and will run over 3 years from 2023-24 to 2025-26.

Council has the opportunity to make an application to the RPPP Stream 2: Precinct Delivery to achieve the gap in funding for the Carr Confoy Pavilion. Success with the application will negate the need for Council borrowings.

**REPORT**

The RPPP seeks to deliver transformative investment in regional, rural and remote Australia based on the principles of unifying regional places, growing their economies and serving their communities.

The program will focus on a partnership approach, bringing together governments and communities to deliver regional precincts that are tailored to local needs and have a shared vision in how that precinct connects to the region.

Applications can be lodged in April/May 2024 for assessment and projects must be completed by 31 March 2026. Guidelines for application are listed below:

Stream Two - Precinct delivery: to deliver a specified project or projects as part of a precinct.

The grant amount will be up to 100 per cent of the eligible expenditure for the project.

- Maximum \$50 million
- Minimum amount of \$5m

Contributions can be cash or in-kind (such as land or resources), or a combination of both.

Eligible activities must directly relate to the project and may include:

- upgrade or extension of existing infrastructure to enhance a precinct
- construction of new infrastructure
- procurement of suitable equipment and infrastructure.

Applications under this Stream must also:

- have a completed business case, a precinct master plan or equivalent and a project design which is part of the master plan or related to an existing precinct development plan, and is ready for delivery
- have authority for use of the land or infrastructure
- have project partner/s with a governance structure outlining the anticipated engagement to carry out a precinct in collaboration
- provide evidence that the relevant State or Territory government have Regional Development Australia (RDA) committee and Traditional Owner/First Nations groups form part of the partnership

The objectives of the Program are to:

- facilitate place-based approaches to planning, characterised by collaborative partnerships engaging in shared design, stewardship, and accountability of planned outcomes
- provide targeted benefits related to productivity, equity, and resilience for the people of regional, rural, or remote Australia
- support community priorities for regional cities, rural or remote centres and areas
- reflect the Government's approach to regional investment as outlined in the Regional Investment Framework.

The intended outcomes of the Program are to:

- demonstrate the value of partnerships between governments, communities and businesses for effective planning, coordination, and delivery of regional infrastructure
- develop and deliver regional precincts comprised of multiple infrastructure components, which provide benefits related to productivity, equity and resilience
- contribute to the Australian Government's current policy priorities, including but not limited to Closing the Gap, transition to a net zero economy, Australia's emission reduction goals, social and affordable housing, and National Cultural Policy.

## **Proposal**

This report is recommending that Council apply to the Regional Precinct and Partnership Program for gap funding for the construction of the Carr Confoy Pavilion which is currently part funded (\$3,600,854) under the Multi-sports Community Sports Facility Fund. The application will replicate the scope and outcomes of the Multi-sports application.

Upgrade of this large sporting precinct will allow Council to complete important sporting and community infrastructure to attract regional and state sporting fixtures and competitions and provide facilities for community social, physical and mental wellbeing.

The precinct upgrade application will be for approximately \$10,000,000 including a 30% contingency/escalation. No cash contribution will be required by Council for this application. The \$3.6M State Funding will form a co-contribution for the application.

In anticipation of a RPPP application, a variation for extension of time has been made to the Office of Sport to delay construction of the Carr Confoy Pavilion until after the outcome of the Federal fund.

**16.6 REVIEW - INSTRUMENT OF DELEGATION TO THE CHIEF EXECUTIVE OFFICER**

**Author:** Business Manager Governance

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. [Reviewed Instrument of Delegation to Chief Executive Officer.pdf](#) 

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Nil
<b>Use of Reserve Funds:</b>	Nil

**RECOMMENDATION**

That

1. The report Review Instrument of Delegation to Chief Executive Officer by the Business Manager Governance be received.
2. The reviewed Instrument of Delegation to the Chief Executive Officer be confirmed.
3. In accordance with Section 377 of the *Local Government Act 1993*, Council confers the powers and functions to the Chief Executive Officer as per the attached Instrument of Delegation to the Chief Executive Officer.

**BACKGROUND**

The last review of the Instrument of Delegation to Chief Executive Officer was resolved by Council at its Ordinary Council Meeting on 19 July 2022.

**REPORT**

A review of the Instrument of Delegation (Instrument) to the Chief Executive Officer has been undertaken to ensure the Instrument is in accordance with, and encapsulates any legislative amendments since the previous review of the Instrument and to ensure the Instrument is in accord with operational requirements.

The reviewed Instrument is similar to the existing Instrument of Delegation to the Chief Executive Officer with the following amendments:

- The expenditure limits in Schedule 3 Sections 1.5 and 1.7 have been increased to reflect the current contract procurement limit of \$250,000 in accordance with Section 55 of the Local Government Act.
- An additional delegation in Schedule 3 Section 1.6 to approve a variation of contract up to ten per cent of the expenditure amount approved by Council.

Other amendments are essentially formatting and grammatical changes including numbering of clauses within each Schedule.



**Instrument of Delegation**  
**Section 377 of the Local Government Act 1993**  
**Delegation of Functions to the Chief Executive Officer**

Goulburn Mulwaree Council, pursuant to s377 of the *Local Government Act 1993* and by resolution passed at a duly convened meeting of the Council held on [insert date] resolved:

- (a) to revoke all delegations previously given by the governing body of the Council to the CEO, and
- (b) to delegate to the CEO, in accordance with this instrument of delegation, the Functions specified or described in Schedule 1, subject to:
  - (i) the exceptions specified or described in schedule 2, and
  - (ii) the conditions and limitations specified or described in schedule 3.

\_\_\_\_\_  
 Peter Walker  
 Mayor

\_\_\_\_\_  
 Date

**1. Definitions**

1.1 In this Instrument:

**Act** means the *Local Government Act 1993*.

**Application** means an application for an Approval made to the Council.

**Approval** means any approval or grant of consent to an application made under the Act, the EPA Act, or any other Act or subordinate legislation for which Council is the determining authority.

**CEO** means the Chief Executive Officer. Because council has appointed a chief executive officer, references to the CEO are references to the "general manager" in the Act.

**Departmental Chief Executive** means the Departmental Chief Executive of the Department of Premier and Cabinet or the Departmental Chief Executive of any other government department which has the carriage of the administrative functions of the Act and the portfolio of Local Government.

**EPA Act** means the *Environmental Planning and Assessment Act 1979*.

**Function** means any function of the Council within the meaning of the Act that is capable of being delegated, and for the avoidance of doubt excludes:

- (a) the functions of the general manager referred to in s335 of the Act;
- (b) the role of the governing body referred to in s223 of the Act; and
- (c) the role of the Mayor referred to in s226 of the Act.

**Minister** means the current Minister for Local Government or any future title given to a ministerial position of a future New South Wales State Government portfolio that includes governance of Local Government.

**2. Commencement**

- 2.1 The delegations conferred on the CEO by this instrument of delegation commence immediately after the passing of the resolution.

**Acknowledgement**

I, Aaron Johansson acknowledge receipt of, and understand, the terms of this instrument of delegation.

\_\_\_\_\_  
Chief Executive Officer

\_\_\_\_\_  
Date



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## Schedule 1

The CEO, and in the absence of the CEO, their nominee as the Acting CEO for the period of the CEO's absence, is delegated authority under s377 of the Act, to exercise and/or perform on behalf of Council the powers, authorities, duties and Functions of the Council subject to the following:

1. the CEO is restrained from carrying out any of those functions of Council excluded from delegation by operation of s377(1) of the Act; and
2. the CEO is entitled to carry out any functions delegated to the Council.

If a function is conferred or imposed on an employee of Council under any other legislation, the function is deemed to be conferred or imposed on the Council and is delegated to CEO.

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## Schedule 2

### 1. Functions not delegated to the CEO

- 1.1 A Function for the time being, delegated by the Council to any person or body other than the CEO.
- 1.2 Adopting or varying a policy, plan, program, practice, strategy, or the like previously adopted or approved by resolution of the Council including, but not limited to:
  - 1.2.1 A Planning Proposal
  - 1.2.2 A Development Control Plan
  - 1.2.3 A Contributions Plan
  - 1.2.4 A Local Approvals Policy
  - 1.2.5 A local Orders Policy
  - 1.2.6 Adopting, varying or supplementing the Council's:
    - 1.2.7 The Code of Conduct
    - 1.2.8 The Code of Meeting Practice
    - 1.2.9 Community Strategic Plan
    - 1.2.10 Resourcing Strategy
    - 1.2.11 Delivery Plan
    - 1.2.12 Community Engagement Strategy
    - 1.2.13 Annual Report
- 1.3 Creating a committee of the Council of which all of the members are councillors.
- 1.4 Deciding to accept any tenders after a full assessment of the tenders has been undertaken for the purpose of determining whether any tender should be accepted by the Council.
- 1.5 Making an application, written proposal, representation, or submission to the Governor or a Minister or public authority on behalf of the Council which is not made by reference to policies, plans, programs, practices, strategies, or the like adopted or approved by resolution of the Council.
- 1.6 Commencing and maintaining proceedings in any court or tribunal against any Minister or public authority.
- 1.7 Giving a notice, direction, order or the like to, or taking action to enforce any law against, a Minister or public authority.
- 1.8 Deciding to take a poll of electors for the purposes of holding a constitutional referendum.
- 1.9 Fixing of annual fees to be paid to the Mayor and the Councillors.
- 1.10 Determining:
  - 1.10.1 the senior staff positions within the organisation structure of the Council;

- 1.10.2 the roles and reporting lines (for other senior staff) of holders of senior staff positions;
  - 1.10.3 the resources to be allocated towards the employment of staff; or
  - 1.10.4 entering into a public-private partnership on behalf of the Council in the absence of a resolution of the Council to do so.
- 1.11 Entering into a Voluntary Regional Organisation of Councils.
- 1.12 Appointing or terminating the appointment of the Council's auditor.
- 1.13 Except in accordance with a policy previously approved by the Council:
- 1.13.1 deciding to dedicate land as a public road;
  - 1.13.2 deciding whether a public road should be closed; or
  - 1.13.3 preparing a proposal to fix or vary the levels of a public road or widen or realign a public road.
- 1.14 Ordering or consenting to the imposition of covenants or restrictions on the use of land vested in the Council.
- 1.15 Adding fluorine to any public water supply under the control of the Council.
- 1.16 Entering into or modifying an agreement or arrangement referred to in ss12 or 12A of the *Library Act 1939*.
- 1.17 Adopting a program for the inspection of swimming pools under s22B of the *Swimming Pools Act 1992*.
- 1.18 Exhibiting a draft coastal zone management program under the *Coastal Management Act 2016*.
- 1.19 Adopting an agency information guide under the *Government Information (Public Access) Act 2009*.
- 1.20 Agreeing to combine the emergency management arrangements of Council with another Council under s27 of the *State Emergency and Rescue Management Act 1989*.

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## Schedule 3

### 1. Conditions and Limitations Applying to Delegated Functions

- 1.1 The Functions delegated must be exercised lawfully.
- 1.2 The Functions delegated must be exercised consistently with adopted policies of the Council.
- 1.3 A Function may not be exercised under delegation if the matter in respect of which the Function would otherwise be exercised under delegation:
  - 1.3.1 is called-up to the governing body in accordance with an adopted policy of the Council; and
  - 1.3.2 written notice is given to the CEO of the matter being called-up before the Function delegated is exercised.
- 1.4 A Function may not be exercised under delegation in relation to a matter if the CEO has a pecuniary or significant non-pecuniary conflict of interests in relation to the matter.
- 1.5 A Function may not be exercised under delegation if it involves incurring expenditure on behalf of the Council that is not within a vote of money for expenditure by the Council in an amount exceeding \$125,000.
- 1.6 A Function may not be exercised under delegation if it involves incurring a cost (other than by means of expenditure) to the Council (including foregoing income otherwise due to the Council in an amount exceeding \$250,000) or for any reason consistent with established policies of the Council.
- 1.7 A Function may not be exercised under delegation if it involves approving a variation to any contract sum or contract contingency that exceeds;
  - 1.7.1 ten per cent of the expenditure amount approved by Council for that contract; or
  - 1.7.2 the threshold in items 1.5 and 1.6 in Schedule 3 of this delegation.
- 1.8 A Function may not be exercised under delegation if it involves writing-off a debt owing to the Council in an amount exceeding \$10,000.
- 1.9 A Function may not be exercised under delegation if it involves deciding to provide goods, services or facilities to any person or group of persons which have not been previously provided by the Council to any person.
- 1.10 A Function may not be exercised under delegation if it involves deciding to vary, suspend or terminate the provision of goods, services, or facilities to any person or group of persons except in accordance with a contract between Council and the person.
- 1.11 A Function may not be exercised under delegation if it involves determining an Application:
  - 1.11.1 which the Council has previously resolved is to be determined by resolution of the Council;
  - 1.11.2 in breach of a development standard applying to the carrying out of development the subject of the Application, where that development standard is a numerical control and the breach is more than ten per cent of the numerical control;
  - 1.11.3 in respect of which ten or more submissions by way of objection have been made regarding the subject matter of the Application which the CEO considers remain unresolved; or

- 1.11.4 in a manner that is inconsistent with the purpose, objectives or intended outcomes of any policy adopted or approved by resolution of the Council applying to the Application.
- 1.12 A Function may not be exercised under delegation if it involves granting an Approval that is inconsistent with any requirement or standard fixed or specified by or under any law or any adopted policy of the Council.
- 1.13 A Function may not be exercised under delegation if it involves deciding to carry out an activity or granting an Approval in relation to an activity for the purposes of Part 5 of the EPA Act where an environmental impact statement is required in connection with the activity.
- 1.14 Except as authorised by resolution of the Council, a Function may not be exercised under delegation if it involves entering into or amending or revoking a voluntary planning agreement or works-in-kind agreement entered into pursuant to a resolution of the Council.
- 1.15 A Function may not be exercised under delegation if it involves modifying or revoking an order under the Act or EPA Act given to a person by resolution of the Council.

Authorised by Council Resolution [insert resolution number] of [insert date]

**16.7 2022/23 AUDITED FINANCIAL STATEMENTS**

**Author:** Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

- Attachments:**
1. **Key Results - 2022/23 Consolidated Audited Financial Statements** 
  2. **Audited Financial Statements 2022/23 (separately enclosed)** 

<b>Link to Community Strategic Plan:</b>	Delivery Plan Action CL1.2 - Ensure the long term financial sustainability of Council through effective and prudent financial management (CSP Strategy CL1 - Effect resourceful and respectful leadership and attentive representation of the community)
<b>Cost to Council:</b>	Nil
<b>Use of Reserve Funds:</b>	N/A

**RECOMMENDATION**

That

1. The report from the Director Corporate & Community Services on the 2022/23 Audited Financial Reports be received.
2. The Audited Financial Statements for the year ending 30 June 2023 be received and the Financial Position of Council be noted.

**BACKGROUND**

In accordance with s419(1) Local Government Act 1993, a Council must present its audited financial reports, together with the auditor’s reports, at a meeting of Council.

**REPORT**

The audit of the 2022/23 Financial Statements has been completed and all Auditors reports received. As such, the Statements are now complete, and copies are included as a Separate Enclosure.

In accordance with the legislation the Statements have been placed on public exhibition since 20 December 2023 for wider community comment.

A summary of the final results of the Statements including some of the more important Key Performance Indicators (KPIs) is included in the “Report on the Conduct of the Audit” which can be found at the end of the General Purpose Financial Statements section of the document.

The attachment to this report also shows some of the key results contained within the statements.





# Income Statement

	<b>2023</b>	<b>2022</b>
	<b>(\$'000)</b>	<b>(\$'000)</b>
Total income from continuing operations	\$110,144	\$118,165
Total expenses from continuing operations	\$92,769	\$77,016
<b><i>Operating Result from continuing operations</i></b>	<b><i>\$17,375</i></b>	<b><i>\$41,149</i></b>
<b><i>Net operating result before grants and contributions provided for capital purposes</i></b>	<b><i>(\$3,787)</i></b>	<b><i>\$9,385</i></b>

## Statement of Financial Position

	<b>2023</b>	<b>2022</b>
	<b>(\$'000)</b>	<b>(\$'000)</b>
Total Current Assets	144,832	121,645
Total Current Liabilities	(38,356)	(26,758)
Total Non-Current Assets	1,528,426	1,419,451
Total Non- Current Liabilities	(50,586)	(52,997)
<b>Total Equity</b>	<b>1,584,316</b>	<b>1,461,341</b>

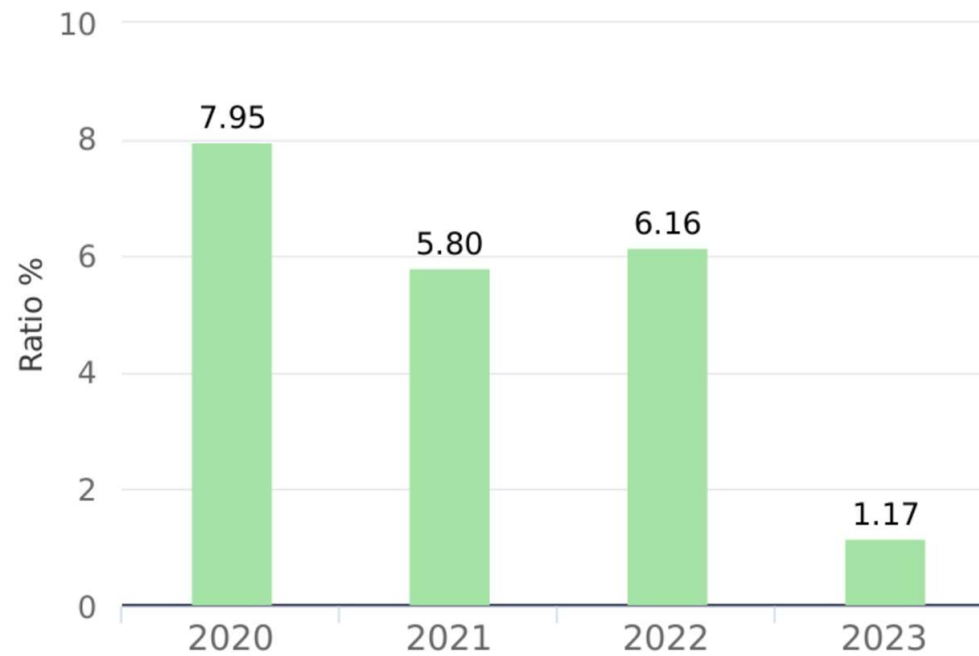
## Cash & Investments

	<b>2023</b>	<b>2022</b>
	<b>(\$'000)</b>	<b>(\$'000)</b>
Total Cash & Investments	130,128	114,489
Externally Restricted Cash & Investments	(106,938)	(90,806)
Internally Restricted Cash & Investments	(19,298)	(17,887)
<b><i>Unrestricted Cash</i></b>	<b>3,892</b>	<b>5,796</b>

## Key Indicators

	<b>2023</b>	<b>2022</b>
Unrestricted Current Ratio (times)	3.10	2.69
Operating Performance Ratio (%)	1.17%	6.16%
Debt Service Cover Ratio (times)	6.98	7.06
Rates & Annual Charges Outstanding ratio (%)	3.19%	3.16%
Infrastructure Renewal Ratio (%)	77.65%	200.81%
Own Source Operating Revenue (%)	61.64%	52.58%
Cash Expense Cover Ratio (months)	26.47	22.27

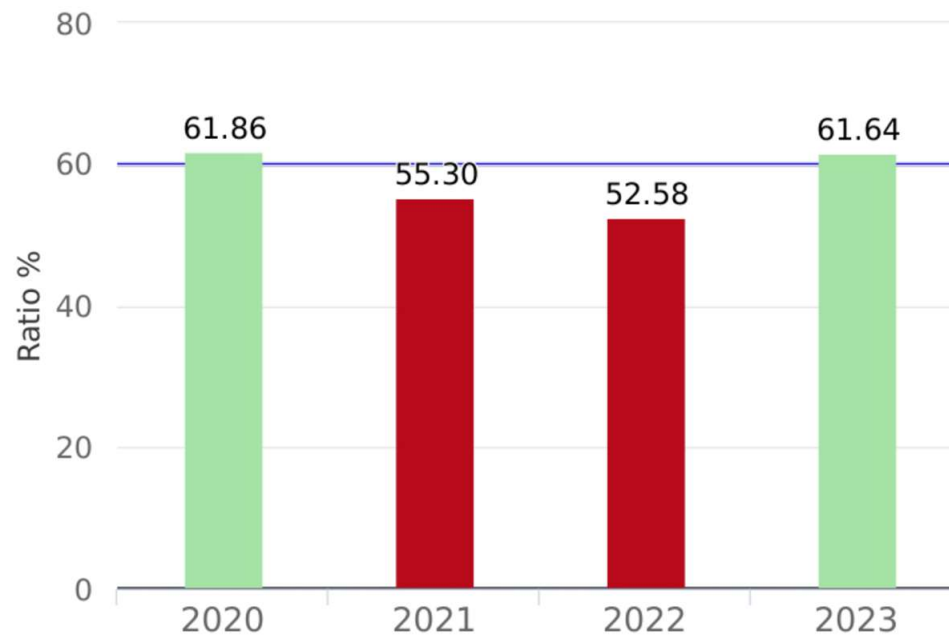
## Operating Performance Ratio



This ratio measures Council’s achievement of containing operating expenditure within operating revenue.

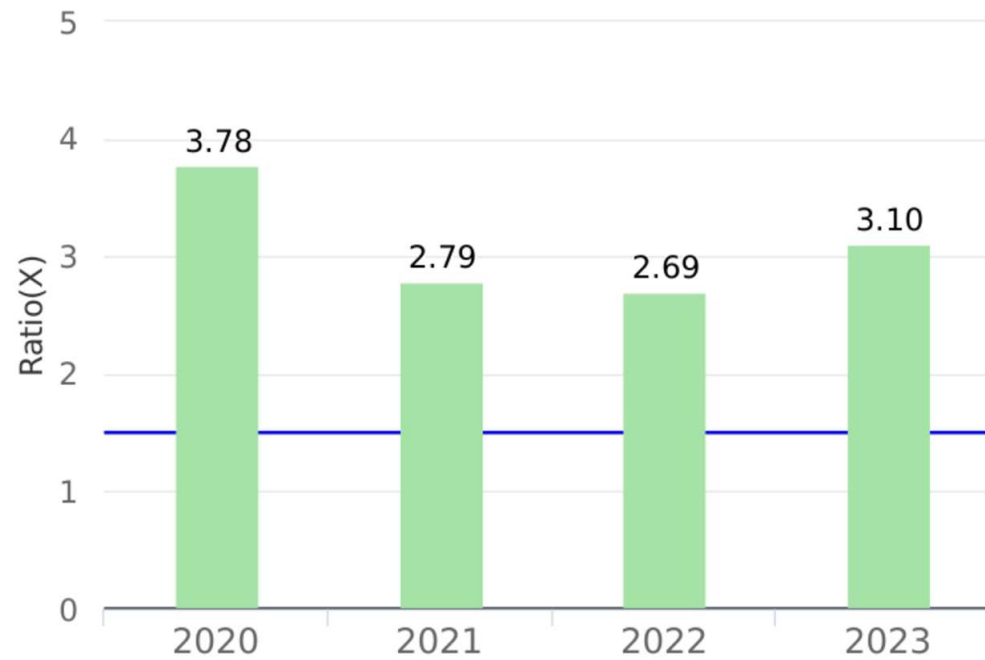


## Own Source Revenue Ratio



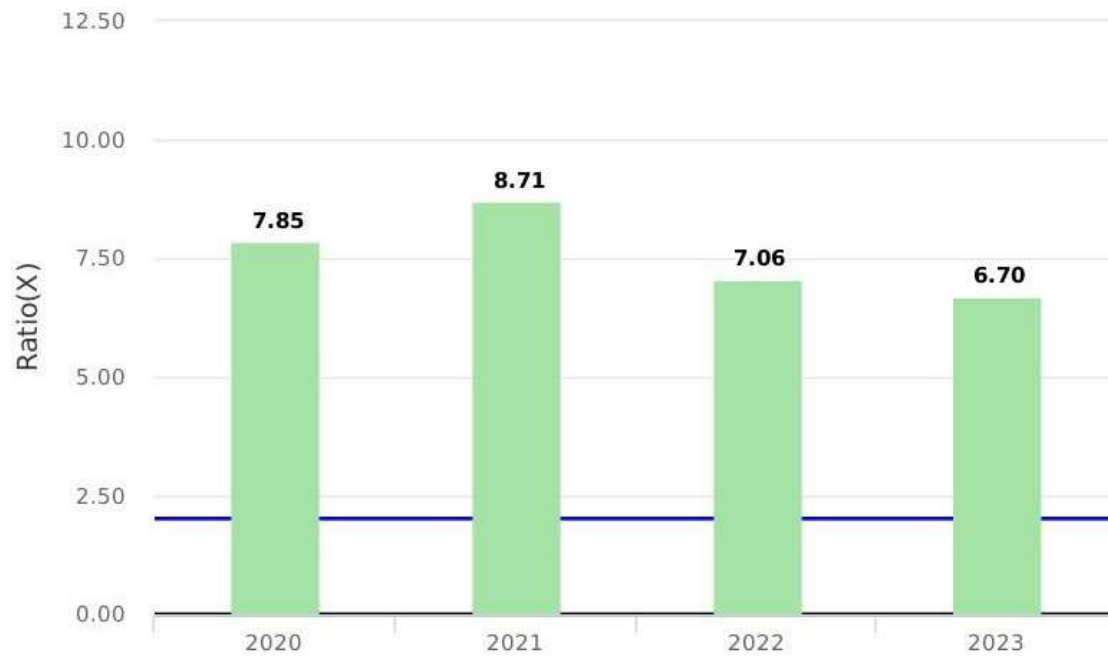
This ratio measures fiscal flexibility. It is the degree of reliance on external funding sources such as operating grants and contributions.

## Unrestricted Current Ratio



To assess the adequacy of working capital and its ability to satisfy obligations in the short term for the unrestricted activities of Council.

## Debt Service Cover Ratio



This ratio measures the availability of operating cash to service debt including interest, principal and lease payments

## Rates and annual charges outstanding percentage



To assess the impact of uncollected rates and annual charges on Council's liquidity and the adequacy of recovery efforts.

## Cash expense cover ratio



This liquidity ratio indicates the number of months a Council can continue paying for its immediate expenses without additional cash inflow.

**16.8 MONTHLY FINANCIAL REPORT**

**Author:** Business Manager Finance & Customer Service  
 Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. Monthly Financial Report - December 2023  

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Nil
<b>Use of Reserve Funds:</b>	Nil

**RECOMMENDATION**

That the report by the Director Corporate & Community Services on the Monthly Financial Report be received.

**BACKGROUND**

To provide details on Council’s actual income and expenditure compared to the estimate of Council’s income and expenditure.

This report is made in compliance with the requirements of the *Local Government (General) Regulation 2005 – Reg 202 (a)*, relating to Council's responsible accounting officer to maintain a system for budgetary control.

**REPORT**

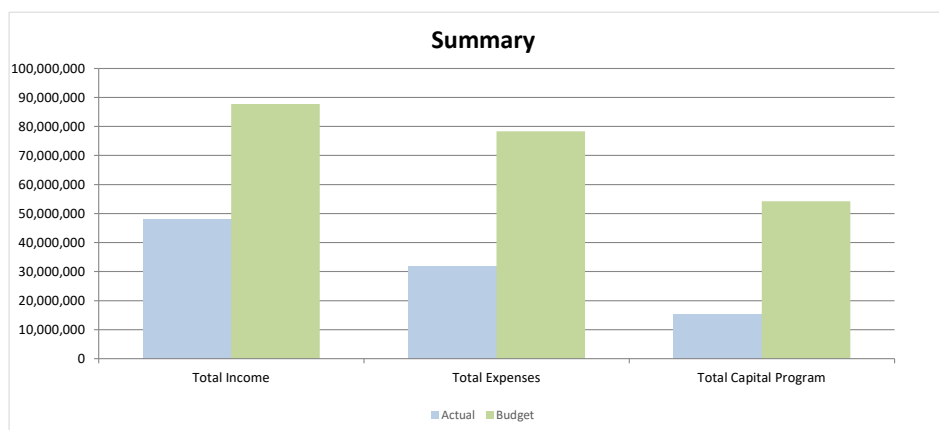
The Attachment includes the Capital Expenditure Year-to-Date Reports by Directorate along with reports comparing Council’s year-to-date income and expenditure against the annual budget for each of the funds for the 2023/24 financial year.



**Council Summary Report by Fund for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Original Budget 24PJ0B	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	% of Time:	
							\$ Variance	% of Budget
<b>General Fund</b>								
<b>Income</b>								<b>52%</b>
Rates & Annual Charges	24,061,340	<u>23,881,618</u>	0	0	23,881,618	24,061,340	179,722	99%
User Charges & Fees	8,931,836	<u>4,964,240</u>	0	0	4,964,240	8,931,836	3,967,596	56%
Interest & Investment Revenue	785,000	<u>442,779</u>	0	0	442,779	785,000	342,221	56%
Other Revenues	1,567,761	<u>967,845</u>	0	0	967,845	1,663,616	695,771	58%
Operating Grants & Contributions	11,878,327	<u>3,022,641</u>	0	0	3,022,641	12,768,061	9,745,420	24%
Internal Income	21,643,853	<u>7,548,879</u>	0	0	7,548,879	22,103,496	14,554,617	34%
<b>Total Income</b>	<b>68,868,116</b>	<b>40,828,002</b>	<b>0</b>	<b>0</b>	<b>40,828,002</b>	<b>70,313,349</b>	<b>29,485,347</b>	<b>58%</b>
<b>Expense</b>								
Employee costs	27,255,573	<u>13,777,887</u>	1,004	2,153	13,781,043	27,646,447	13,865,404	50%
Materials & Contracts	17,055,491	<u>11,480,494</u>	1,185,802	3,138,675	15,804,970	18,035,457	2,230,487	88%
Borrowing Costs	748,024	<u>278,473</u>	0	0	278,473	748,024	469,551	37%
Depreciation & Impairment	17,412,649	<u>0</u>	0	0	0	17,412,649	17,412,649	0%
Other Expenses	1,463,718	<u>653,737</u>	0	0	653,737	1,463,718	809,981	45%
Internal Expenses	13,010,975	<u>5,628,803</u>	0	0	5,628,803	13,010,975	7,382,172	43%
<b>Total Expense</b>	<b>76,946,429</b>	<b>31,819,394</b>	<b>1,186,805</b>	<b>3,140,827</b>	<b>36,147,026</b>	<b>78,317,271</b>	<b>42,170,244</b>	<b>46%</b>
<b>Operating Surplus/(Deficit) before Cap</b>	<b>-8,078,312</b>	<b>9,008,608</b>	<b>-1,186,805</b>	<b>-3,140,827</b>	<b>4,680,976</b>	<b>-8,003,922</b>	<b>-12,684,898</b>	<b>-58%</b>
<b>Capital Income</b>								
Capital Grants & Contributions	26,024,444	7,143,812	0	0	7,143,812	29,767,669	22,623,857	24%
<b>Operating Surplus/(Deficit) after Cap</b>	<b>17,946,132</b>	<b>16,152,420</b>	<b>-1,186,805</b>	<b>-3,140,827</b>	<b>11,824,787</b>	<b>21,763,747</b>	<b>9,938,960</b>	<b>54%</b>
<b>Non Cash</b>								
Depreciation & Impairment	17,412,649	0	0	0	0	17,412,649	17,412,649	0%
<b>Total Non Cash</b>	<b>17,412,649</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>17,412,649</b>	<b>0</b>	<b>0%</b>
<b>Investing Fund Flows</b>								
Capital Works	-45,897,278	<u>-15,470,404</u>	0	-16,322,484	-31,792,888	-54,204,225	-22,411,337	59%
Asset Sales	640,000	<u>210,115</u>	0	0	210,115	640,000	429,885	33%
<b>Total Investing Fund Flows</b>	<b>-45,257,278</b>	<b>-15,260,290</b>	<b>0</b>	<b>-16,322,484</b>	<b>-31,582,774</b>	<b>-53,564,225</b>	<b>-21,981,452</b>	<b>59%</b>
<b>Financing Fund Flows</b>								
Loan Principal	-1,816,872	<u>-778,289</u>	0	0	-778,289	-1,816,872	-1,038,583	43%
Proceeds from Borrowings	4,000,000	<u>0</u>	0	0	0	4,000,000	4,000,000	0%
<b>Total Financing Fund Flows</b>	<b>2,183,128</b>	<b>-778,289</b>	<b>0</b>	<b>0</b>	<b>-778,289</b>	<b>2,183,128</b>	<b>2,961,417</b>	<b>-36%</b>
<b>Net Inc/(Dec) in Funds before Transfers</b>	<b>-7,715,370</b>	<b>113,842</b>	<b>-1,186,805</b>	<b>-19,463,311</b>	<b>-20,536,275</b>	<b>-12,204,701</b>	<b>8,331,574</b>	<b>168%</b>
<b>Reserve Movements</b>								
Transfers to Internal Reserves	191,583	<u>-294,134</u>	0	0	-294,134	200,613	494,747	-147%
Transfers to Developer Contributions	-2,819,500	<u>-1,858,478</u>	0	0	-1,858,478	-2,819,500	-961,022	66%
Transfers from Internal Reserves	5,119,834	<u>0</u>	0	0	0	7,185,588	7,185,588	0%
Transfers from Developer Contributions	2,033,321	<u>0</u>	0	0	0	2,631,290	2,631,290	0%
Transfers from Other External Reserves	3,287,285	<u>27,001</u>	0	0	27,001	7,721,139	7,694,138	0%
<b>Total Reserve Movements</b>	<b>7,812,523</b>	<b>-2,125,612</b>	<b>0</b>	<b>0</b>	<b>-2,125,612</b>	<b>14,919,130</b>	<b>17,044,742</b>	<b>-14%</b>
<b>Net Inc/(Dec) in Unrestricted Funds</b>	<b>97,153</b>	<b>-2,011,770</b>	<b>-1,186,805</b>	<b>-19,463,311</b>	<b>-22,661,887</b>	<b>2,714,429</b>	<b>25,376,316</b>	<b>-835%</b>





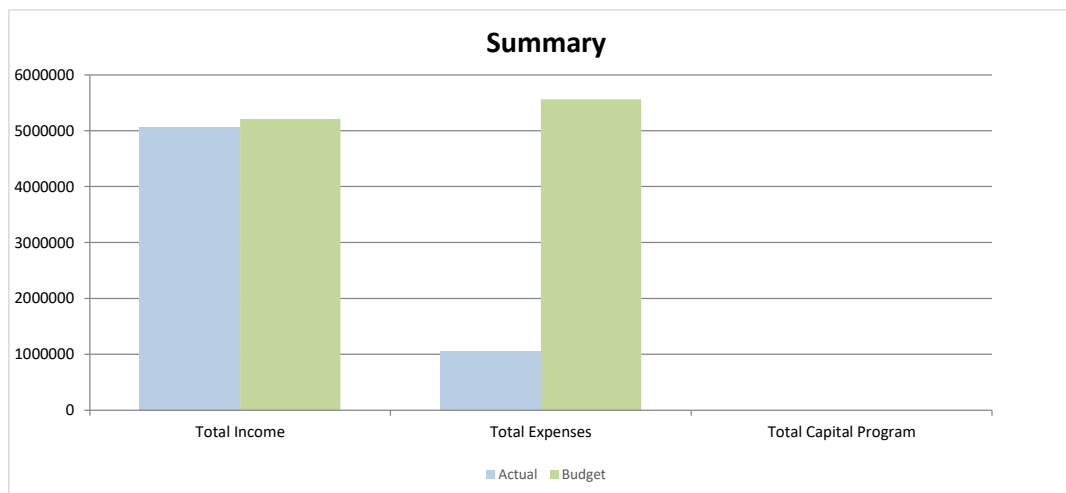


**Council Summary Report by Fund for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

**Domestic Waste Management**

Description	Original Budget 24PJ0B	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	% of Time:	
							\$ Variance	% of Budget
<b>Income</b>								<b>52%</b>
Rates & Annual Charges	5,073,679	<u>5,081,592</u>	0	0	5,081,592	5,073,679	-7,913	100%
Interest & Investment Revenue	95,000	<u>-43,254</u>	0	0	-43,254	95,000	138,254	-46%
Other Revenues	38,059	<u>24,134</u>	0	0	24,134	38,059	13,925	63%
<b>Total Income</b>	<b>5,206,738</b>	<b>5,062,471</b>	<b>0</b>	<b>0</b>	<b>5,062,471</b>	<b>5,206,738</b>	<b>144,267</b>	<b>97%</b>
<b>Expense</b>								
Employee costs	994,908	<u>423,782</u>	0	0	423,782	995,885	572,102	43%
Materials & Contracts	1,028,455	<u>329,795</u>	0	664,203	993,998	1,033,105	39,106	96%
Depreciation & Impairment	753	<u>0</u>	0	0	0	753	753	0%
Internal Expenses	3,073,656	<u>296,554</u>	0	0	296,554	3,533,299	3,236,744	8%
<b>Total Expense</b>	<b>5,097,772</b>	<b>1,050,132</b>	<b>0</b>	<b>664,203</b>	<b>1,714,335</b>	<b>5,563,041</b>	<b>3,848,706</b>	<b>31%</b>
<b>Operating Surplus/(Deficit) before Cap</b>	<b>108,966</b>	<b>4,012,339</b>	<b>0</b>	<b>-664,203</b>	<b>3,348,136</b>	<b>-356,303</b>	<b>-3,704,439</b>	<b>-940%</b>
<b>Capital Income</b>								
<b>Operating Surplus/(Deficit) after Capi</b>	<b>108,966</b>	<b>4,012,339</b>	<b>0</b>	<b>-664,203</b>	<b>3,348,136</b>	<b>-356,303</b>	<b>-3,704,439</b>	<b>-940%</b>
<b>Non Cash</b>								
Depreciation & Impairment	753	0	0	0	0	753	753	0%
<b>Total Non Cash</b>	<b>753</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>753</b>	<b>0</b>	<b>0%</b>
<b>Investing Fund Flows</b>								
Capital Works	0	<u>0</u>	0	0	0	0	0	0%
Asset Sales	0	<u>0</u>	0	0	0	0	0	0%
<b>Total Investing Fund Flows</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0%</b>
<b>Financing Fund Flows</b>								
<b>Total Financing Fund Flows</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0%</b>
<b>Net Inc/(Dec) in Funds before Transfe</b>	<b>109,719</b>	<b>4,012,339</b>	<b>0</b>	<b>-664,203</b>	<b>3,348,136</b>	<b>-355,550</b>	<b>-3,703,686</b>	<b>-942%</b>
<b>Reserve Movements</b>								
Transfers from Other External Reserve	75,000	<u>0</u>	0	0	0	79,650	79,650	0%
<b>Total Reserve Movements</b>	<b>75,000</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>79,650</b>	<b>79,650</b>	<b>0%</b>
<b>Net Inc/(Dec) in Unrestricted Funds</b>	<b>184,719</b>	<b>4,012,339</b>	<b>0</b>	<b>-664,203</b>	<b>3,348,136</b>	<b>-275,900</b>	<b>-3,624,036</b>	<b>-1214%</b>

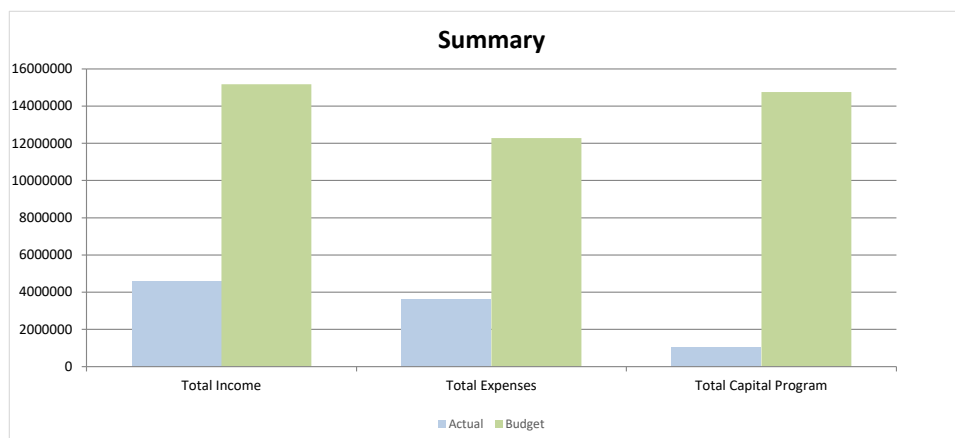




**Council Summary Report by Fund for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	% of Time:	
							\$ Variance	% of Budget
<b>Income</b>								52%
Rates & Annual Charges	2,891,921	<u>1,500,569</u>	0	0	1,500,569	2,891,921	1,391,352	52%
User Charges & Fees	8,168,463	<u>2,830,757</u>	0	0	2,830,757	8,168,463	5,337,706	35%
Interest & Investment Revenue	965,000	<u>-128,778</u>	0	0	-128,778	965,000	1,093,778	-13%
Other Revenues	107,827	<u>148,192</u>	0	0	148,192	107,827	-40,364	137%
Operating Grants & Contributions	45,240	<u>0</u>	0	0	0	45,240	45,240	0%
<b>Total Income</b>	<b>12,178,451</b>	<b>4,350,740</b>	<b>0</b>	<b>0</b>	<b>4,350,740</b>	<b>12,178,451</b>	<b>7,827,711</b>	<b>36%</b>
<b>Expense</b>								
Employee costs	2,056,578	<u>1,041,528</u>	0	0	1,041,528	2,057,555	1,016,027	51%
Materials & Contracts	3,815,960	<u>1,282,244</u>	0	347,380	1,629,624	3,768,909	2,139,286	43%
Borrowing Costs	762,226	<u>277,342</u>	0	0	277,342	762,226	484,884	36%
Depreciation & Impairment	2,993,171	<u>0</u>	0	0	0	2,993,171	2,993,171	0%
Internal Expenses	2,698,408	<u>1,020,953</u>	0	0	1,020,953	2,698,408	1,677,454	38%
<b>Total Expense</b>	<b>12,326,343</b>	<b>3,622,067</b>	<b>0</b>	<b>347,380</b>	<b>3,969,447</b>	<b>12,280,269</b>	<b>8,310,822</b>	<b>32%</b>
<b>Operating Surplus/(Deficit) before Cap</b>	<b>-147,892</b>	<b>728,673</b>	<b>0</b>	<b>-347,380</b>	<b>381,293</b>	<b>-101,818</b>	<b>-483,111</b>	<b>-374%</b>
<b>Capital Income</b>								
Capital Grants & Contributions	684,050	251,778	0	0	251,778	637,000	385,222	40%
<b>Operating Surplus/(Deficit) after Capit</b>	<b>536,158</b>	<b>980,451</b>	<b>0</b>	<b>-347,380</b>	<b>633,071</b>	<b>535,182</b>	<b>-97,889</b>	<b>118%</b>
<b>Non Cash</b>								
Depreciation & Impairment	2,993,171	0	0	0	0	2,993,171	2,993,171	0%
<b>Total Non Cash</b>	<b>2,993,171</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2,993,171</b>	<b>0</b>	<b>0%</b>
<b>Investing Fund Flows</b>								
Capital Works	-14,194,786	<u>-1,065,297</u>	0	-1,051,823	-2,117,120	-14,753,618	-12,636,498	14%
Asset Sales	0	<u>0</u>	0	0	0	0	0	0%
<b>Total Investing Fund Flows</b>	<b>-14,194,786</b>	<b>-1,065,297</b>	<b>0</b>	<b>-1,051,823</b>	<b>-2,117,120</b>	<b>-14,753,618</b>	<b>-12,636,498</b>	<b>14%</b>
<b>Financing Fund Flows</b>								
Loan Principal	-432,227	<u>-264,657</u>	0	0	-264,657	-432,227	-167,570	61%
<b>Total Financing Fund Flows</b>	<b>-432,227</b>	<b>-264,657</b>	<b>0</b>	<b>0</b>	<b>-264,657</b>	<b>-432,227</b>	<b>-167,570</b>	<b>61%</b>
<b>Net Inc/(Dec) in Funds before Transfer</b>	<b>-11,097,684</b>	<b>-349,503</b>	<b>0</b>	<b>-1,399,202</b>	<b>-1,748,706</b>	<b>-11,657,492</b>	<b>-9,908,786</b>	<b>15%</b>
<b>Reserve Movements</b>								
Transfers to Developer Contributions	-402,000	<u>-164,390</u>	0	0	-164,390	-402,000	-237,610	41%
Transfers from Internal Reserves	260,000	<u>0</u>	0	0	0	260,000	260,000	0%
Transfers from Developer Contribution	2,201,365	<u>0</u>	0	0	0	2,201,365	2,201,365	0%
Transfers from Other External Reserves	7,847,656	<u>0</u>	0	0	0	8,406,488	8,406,488	0%
<b>Total Reserve Movements</b>	<b>9,907,021</b>	<b>-164,390</b>	<b>0</b>	<b>0</b>	<b>-164,390</b>	<b>10,465,853</b>	<b>10,630,243</b>	<b>-2%</b>
<b>Net Inc/(Dec) in Unrestricted Funds</b>	<b>-1,190,663</b>	<b>-513,893</b>	<b>0</b>	<b>-1,399,202</b>	<b>-1,913,096</b>	<b>-1,191,638</b>	<b>721,457</b>	<b>161%</b>

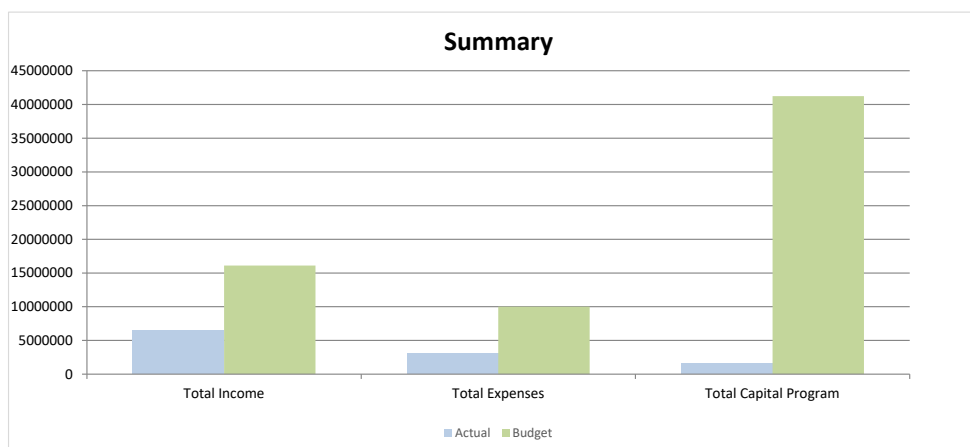




**Council Summary Report by Fund for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	% of Time:		% of Budget
							\$	Variance	
<b>Income</b>									
Rates & Annual Charges	10,614,022	5,403,244	0	0	5,403,244	10,614,022	5,210,778		51%
User Charges & Fees	2,105,167	927,378	0	0	927,378	2,105,167	1,177,789		44%
Interest & Investment Revenue	1,120,000	-232,596	0	0	-232,596	1,120,000	1,352,596		-21%
Other Revenues	14,742	43,244	0	0	43,244	14,742	-28,502		293%
<b>Total Income</b>	<b>13,853,931</b>	<b>6,141,270</b>	<b>0</b>	<b>0</b>	<b>6,141,270</b>	<b>13,853,931</b>	<b>7,712,661</b>		<b>44%</b>
<b>Expense</b>									
Employee costs	2,091,595	836,245	0	0	836,245	2,088,588	1,252,343		40%
Materials & Contracts	3,454,735	1,251,805	0	1,337,715	2,589,520	3,454,735	865,215		75%
Borrowing Costs	84,157	17,314	0	0	17,314	84,157	66,843		21%
Depreciation & Impairment	2,274,422	0	0	0	0	2,274,422	2,274,422		0%
Other Expenses	0	2,700	0	0	2,700	0	-2,700		0%
Internal Expenses	2,107,993	979,458	0	0	979,458	2,107,993	1,128,535		46%
<b>Total Expense</b>	<b>10,012,902</b>	<b>3,087,522</b>	<b>0</b>	<b>1,337,715</b>	<b>4,425,238</b>	<b>10,009,895</b>	<b>5,584,658</b>		<b>44%</b>
<b>Operating Surplus/(Deficit) before Cap</b>	<b>3,841,029</b>	<b>3,053,747</b>	<b>0</b>	<b>-1,337,715</b>	<b>1,716,032</b>	<b>3,844,036</b>	<b>2,128,004</b>		<b>45%</b>
<b>Capital Income</b>									
Capital Grants & Contributions	12,965,452	334,120	0	0	334,120	13,764,047	13,429,927		2%
<b>Operating Surplus/(Deficit) after Capit</b>	<b>16,806,481</b>	<b>3,387,868</b>	<b>0</b>	<b>-1,337,715</b>	<b>2,050,152</b>	<b>17,608,083</b>	<b>15,557,931</b>		<b>12%</b>
<b>Non Cash</b>									
Depreciation & Impairment	2,274,422	0	0	0	0	2,274,422	2,274,422		0%
<b>Total Non Cash</b>	<b>2,274,422</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2,274,422</b>	<b>0</b>		<b>0%</b>
<b>Investing Fund Flows</b>									
Capital Works	-39,062,795	-1,555,906	0	-879,266	-2,435,173	-41,240,026	-38,804,853		6%
Asset Sales	0	0	0	0	0	0	0		0%
<b>Total Investing Fund Flows</b>	<b>-39,062,795</b>	<b>-1,555,906</b>	<b>0</b>	<b>-879,266</b>	<b>-2,435,173</b>	<b>-41,240,026</b>	<b>-38,804,853</b>		<b>6%</b>
<b>Financing Fund Flows</b>									
Loan Principal	-33,609	-84,925	0	0	-84,925	-33,609	51,316		253%
<b>Total Financing Fund Flows</b>	<b>-33,609</b>	<b>-84,925</b>	<b>0</b>	<b>0</b>	<b>-84,925</b>	<b>-33,609</b>	<b>51,316</b>		<b>253%</b>
<b>Net Inc/(Dec) in Funds before Transfer</b>	<b>-20,015,501</b>	<b>1,747,037</b>	<b>0</b>	<b>-2,216,982</b>	<b>-469,945</b>	<b>-21,391,130</b>	<b>-20,921,185</b>		<b>2%</b>
<b>Reserve Movements</b>									
Transfers to Developer Contributions	-530,000	-305,614	0	0	-305,614	-530,000	-224,387		58%
Transfers from Developer Contribution	3,428,152	0	0	0	0	3,892,477	3,892,477		0%
Transfers from Other External Reserve	32,968,265	0	0	0	0	34,178,573	34,178,573		0%
<b>Total Reserve Movements</b>	<b>35,866,417</b>	<b>-305,614</b>	<b>0</b>	<b>0</b>	<b>-305,614</b>	<b>37,541,050</b>	<b>37,846,663</b>		<b>-1%</b>
<b>Net Inc/(Dec) in Unrestricted Funds</b>	<b>15,850,916</b>	<b>1,441,423</b>	<b>0</b>	<b>-2,216,982</b>	<b>-775,559</b>	<b>16,149,920</b>	<b>16,925,479</b>		<b>-5%</b>

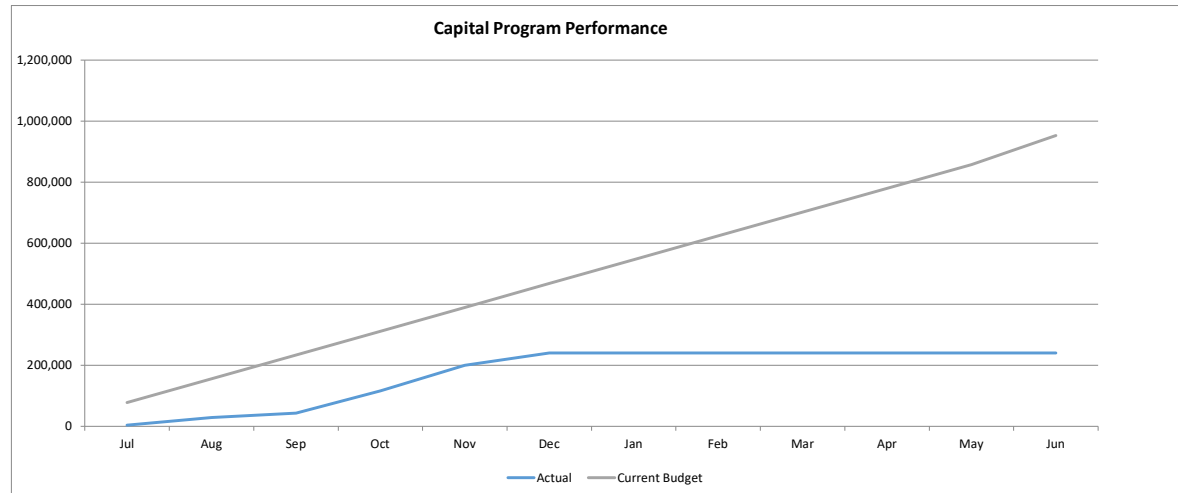




**Corporate and Community Services Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Renewal %	Original Budget 24PJ0B	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	\$ Variance	% of Time: 54%		Status	Comments
									% of Budget	% of Budget		
<b>140 - Innovation &amp; Technology</b>												
IT Renewal Assets	Renewal 100%	420,000	94,660	0	277,989	372,649	420,000	47,351	89%	On time, on budget		
Contingency	Renewal 0%	50,000	0	0	0	0	50,000	50,000	0%	Not due to commence		
56 Clinton St IT Upgrade	Renewal 100%	71,000	0	0	0	0	71,000	71,000	0%	Not due to commence		
Goulburn Room Upgrade	Renewal 100%	0	39,427	0	1,120	40,547	0	-40,547	0%	Quarterly review, carryover required	Funding to be identified in December QBR	
		541,000	134,087	0	279,109	413,196	541,000	127,804	76%			
<b>180 - Marketing &amp; Culture</b>												
VIC Replacement Assets	Renewal 100%	30,000	0	0	4,234	4,234	30,000	25,766	14%	On time, on budget		
Book Resources Gbn Library	Renewal 100%	125,000	55,629	0	66,247	121,876	125,000	3,124	98%	On time, on budget	Annual resource allocation for the full financial year	
Art Gallery Acquisitions	Renewal 0%	10,000	0	0	0	0	10,000	10,000	0%	Not due to commence		
Public Art and Street Art	Renewal 0%	25,000	0	0	759	759	25,000	24,241	3%	On time, on budget		
Art Gallery - P&E Renewal	Renewal 100%	9,000	4,292	0	0	4,292	9,000	4,708	48%	On time, on budget		
Museum Capital Works - Renewal	Renewal 100%	15,000	3,990	0	0	3,990	24,723	20,733	16%	On time, on budget		
Collection Conservation/Framing	Renewal 0%	5,000	322	0	0	322	5,000	4,678	6%	On time, on budget		
GRAG - New Gallery Development	Renewal 0%	106,956	108,739	0	0	108,739	115,056	6,317	95%	On time, on budget	Grant funded project, nearing completion.	
St Clair Villa - Stage 2 Rising Damp	Renewal 100%	294,686	0	0	0	0	294,686	294,686	0%	Not due to commence	Tender being prepared	
22-24 Rocky Hill Tower Memorial Conservation Project	Renewal 100%	0	7,650	0	850	8,500	132,250	123,750	6%	On time, on budget	Scope of works being prepared	
Rocky Hill Panel Replacement - Insurance	Renewal 0%	0	0	0	97,855	97,855	97,855	0	100%	On time, on budget	Insurance claim. Early preparations underway with contractor.	
Waterworks Boiler Repairs	Renewal 100%	0	34,266	0	0	34,266	0	-34,266	0%	On time, on budget	Emergency repairs subject to insurance claim. Claim in the process of being lodged.	
		620,642	214,888	0	169,945	384,833	868,570	483,737	44%			
<b>270 - Property &amp; Community Services</b>												
GPAC Capital Upgrades/Plant & Equipment	Renewal 0%	20,000	11,879	0	3,937	15,816	20,000	4,184	79%	On time, on budget		
GPAC Grid Floor	Renewal 0%	0	193	0	0	193	0	-193	0%	Quarterly review, carryover required	Funding to be identified in December QBR	
		20,000	12,072	0	3,937	16,009	20,000	3,991	80%			
<b>Total Capital Program</b>		<b>1,181,642</b>	<b>361,047</b>	<b>0</b>	<b>452,991</b>	<b>814,038</b>	<b>1,429,570</b>	<b>615,532</b>	<b>0%</b>			

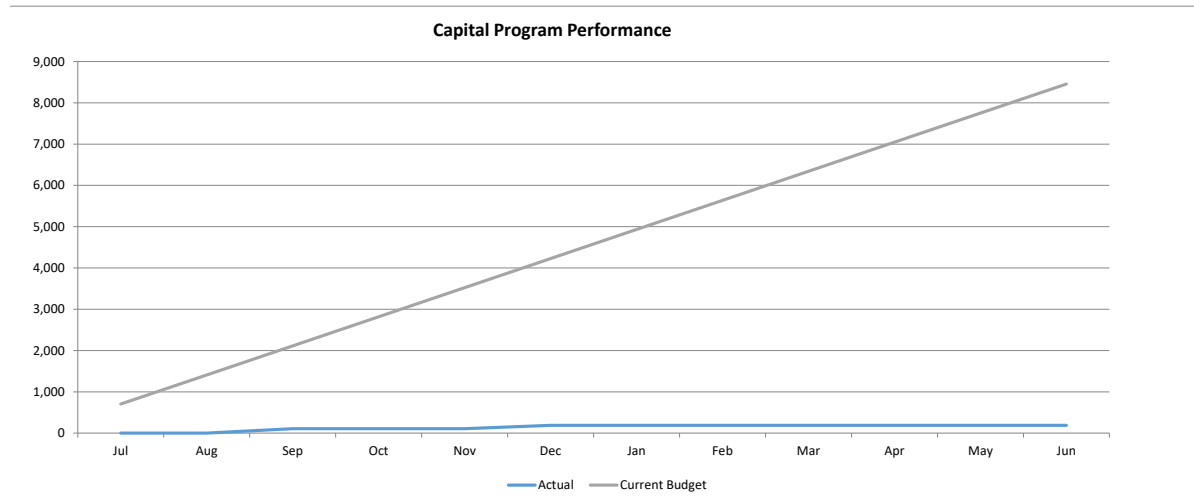




**Planning & Environment Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	\$ Variance	% of Time:		Status	Comments
									% of Budget	53%		
<b>90 - Environment &amp; Health</b>												
AF Renewal Assets	Renewal 100%	10,000	0	0	0	0	10,000	10,000	0%		On time, on budget	
Animal Shelter Upgrade (LRCI3)	Renewal 0%	0	161	0	0	161	2,683	2,522	6%		On time, on budget	
<b>Total Capital Program</b>		<b>10,000</b>	<b>161</b>	<b>0</b>	<b>0</b>	<b>161</b>	<b>12,683</b>	<b>12,522</b>	<b>1%</b>			





**Utilities Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

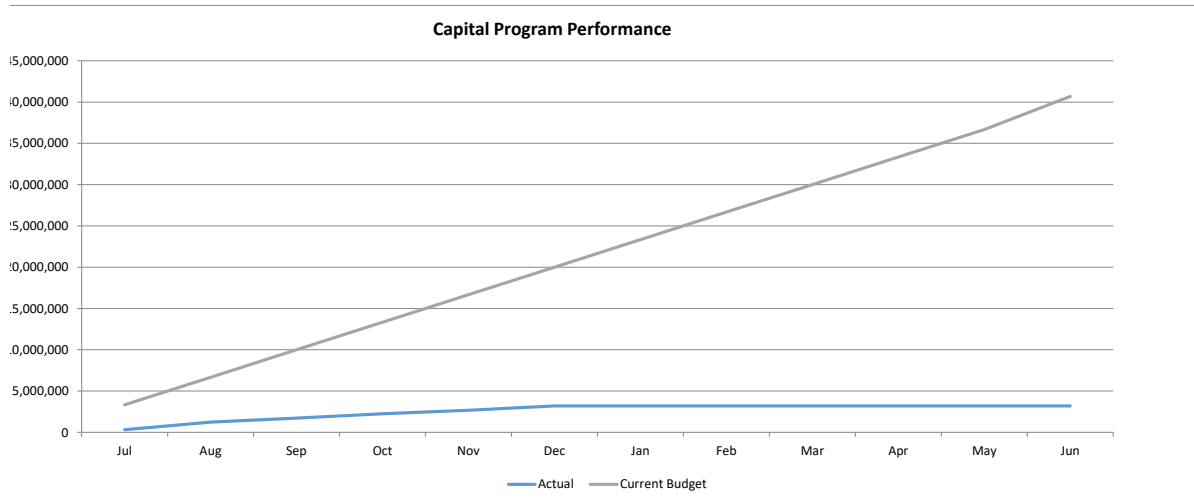
Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	\$ Variance	% of Time:		Status	Comments
									53%	% of Budget		
<b>40 - Waste Management</b>												
Environmental Improvement Works Goulburn	Renewal 100%	145,000	415	0	21,350	21,765	181,599	159,834	12%	12%	On time, on budget	
Environmental Improvement Works Marulan	Renewal 100%	5,000	0	0	0	0	174,125	174,125	0%	0%	Not commenced	Not commenced due to weather, planned to commence.
Replacement Bins & Lifters	Renewal 100%	30,000	0	0	0	0	96,000	96,000	0%	0%	On time, on budget	
Marago WMC Improvements - Amenities CO	Renewal 100%	0	0	0	0	0	0	0	0%	0%	On time, on budget	
Marago WMC Environmental Works	Renewal 100%	0	562	0	0	562	0	-562	0%	0%		Incorrect costing, requires budget reallocation.
Goulburn WMC Drilling Mud Facilities	Renewal 0%	1,830,595	0	0	0	0	1,830,595	1,830,595	0%	0%	Quarterly review, carryover required	Works not expected to be completed this financial year
Goulburn WMC Improvements - New	Renewal 0%	0	2,158,453	0	3,085,976	5,244,429	2,704,204	-2,540,225	194%	194%	On time, expected to be overspent	Quarterly review required
Commercial Waste Tubs - Renew	Renewal 100%	35,000	17,000	0	3,950	20,950	35,000	14,050	60%	60%	On time, on budget	
Commercial Waste Tubs - New	Renewal 0%	5,000	0	0	0	0	5,000	5,000	0%	0%	Not commenced	
Marago WMC Improvements	Renewal 100%	5,000	0	0	0	0	5,000	5,000	0%	0%	On time, on budget	
		2,055,595	2,176,431	0	3,111,276	5,287,707	5,031,523	-256,184		105%		
<b>50 - Water Services</b>												
Goulburn WTP Raw Water Augmentation	Renewal 0%	5,627,130	15,401	0	69,783	85,184	5,627,130	5,541,946	2%	2%	On time, underspent	Delayed due to endangered species on site and the rezoning of the land to allow construction of the drying beds..
Goulburn Reticulation Renewal	Renewal 100%	1,000,000	552,063	0	447,937	1,000,000	1,000,000	0	100%	100%	On time, on budget	
Water Connections - Private Works	Renewal 100%	235,000	56,270	0	2,027	58,297	235,000	176,703	25%	25%	On time, on budget	
Water Meter Replacement	Renewal 100%	60,000	57,131	0	10,394	67,525	60,000	-7,525	113%	113%	On time, expected to be overspent	
Marulan WTP Renewal	Renewal 100%	5,247,656	158,125	0	73,410	231,535	5,438,501	5,206,966	4%	4%	On time, underspent	Works progressing. Expected to be underspent this financial year.
Marulan PS Pontoon Design & Replacement/Sandbagging of Bank	Renewal 100%	0	0	0	0	0	339,734	339,734	0%	0%	Late, not expected to be completed this year	High water levels at raw water pump station not allowing work to occur
Maradfordville Main Relocation	Renewal 100%	1,000,000	126,532	0	377,083	503,615	1,000,000	496,385	50%	50%	On time, on budget	
Lab Equipment Renewal	Renewal 100%	20,000	3,317	0	0	3,317	20,000	16,683	17%	17%	On time, on budget	
Water Treatment Security	Renewal 100%	0	0	0	0	0	28,253	28,253	0%	0%	Not due to commence	
Asset Renewals - Dams	Renewal 100%	0	1,368	0	0	1,368	0	-1,368	0%	0%	Quarterly review, carryover required	Budget reallocation required
Asset Renewals - Goulburn Water Treatment Plant	Renewal 100%	130,000	0	0	7,800	7,800	130,000	122,200	6%	6%	On time, on budget	
Asset Renewals - Marulan Water Treatment Plant	Renewal 100%	10,000	0	0	0	0	10,000	10,000	0%	0%	On time, on budget	
Goulburn WTP Clarifiers Rehabilitation	Renewal 100%	350,000	74,644	0	62,898	137,542	350,000	212,458	39%	39%	On time, on budget	
Lossi - Sooley Pipeline Valves	Renewal 100%	385,000	0	0	0	0	385,000	385,000	0%	0%	On time, on budget	
Treated Water Chlorine Analysis	Renewal 0%	100,000	0	0	0	0	100,000	100,000	0%	0%	Late, not expected to be completed this year	
Water Distribution Plant & Equipment	Renewal 0%	30,000	20,445	0	491	20,937	30,000	9,063	70%	70%	On time, on budget	
		14,194,786	1,065,297	0	1,051,823	2,117,120	14,753,618	12,636,498		14%		
<b>60 - Waste Water Services</b>												
Marulan Pump Station Improvements	Renewal 100%	937,446	436,081	0	188,381	624,462	704,168	79,706	89%	89%	On time, on budget	
Goulburn Mains Rehabilitation	Renewal 100%	1,000,000	433,040	0	369,261	802,300	1,000,000	197,700	80%	80%	On time, underspent	
Water Connections - Private Works	Renewal 100%	90,000	0	0	1,818	1,818	90,000	88,182	2%	2%	On time, underspent	
Marulan WWTP - Renewal	Renewal 100%	16,954,147	50,525	0	73,963	124,488	17,133,800	17,009,312	1%	1%	Late, not expected to be completed this year	
TWRIS Stage 2 Reuse Irrigation Scheme (G)	Renewal 0%	0	268,913	0	19,892	288,806	253,031	-35,775	114%	114%	On time, expected to be overspent	Budget reallocation to be arranged
North Gbn PS Rising Main-Capacity & Storage	Renewal 100%	200,000	0	0	0	0	491,201	491,201	0%	0%	Late, not expected to be completed this year	
North Growing Local Economies Common St (G)	Renewal 0%	0	303,539	0	0	303,539	775,510	471,971	39%	39%	On time, on budget	
North Pec Area Sewer Pump Station Construction	Renewal 100%	0	30,040	0	19,009	49,049	182,077	133,028	27%	27%	On time, on budget	
Water Distribution Plant & Equipment	Renewal 0%	10,000	0	0	430	430	10,000	9,570	4%	4%	On time, on budget	
May St SPS Upgrade	Renewal 100%	700,000	0	0	0	0	795,370	795,370	0%	0%	Quarterly review, carryover required	Works not expected to be completed this financial year
North In CED Decommission Project	Renewal 100%	3,000,000	0	0	0	0	3,000,000	3,000,000	0%	0%		
Goulburn WWTP Security	Renewal 0%	0	0	0	0	0	43,076	43,076	0%	0%	Not due to commence	
WWTP Lab Equipment	Renewal 100%	20,000	0	0	0	0	20,000	20,000	0%	0%	On time, underspent	
Water Treatment Processing Equipment Goulburn	Renewal 0%	690,000	0	0	0	0	690,000	690,000	0%	0%	On time, on budget	As part of upgrade of Goulburn WWTP Stage 2



**Utilities Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	\$ Variance	% of Time: 53%		Status	Comments
									% of Budget	% of Budget		
Asset Renewals - Goulburn Sewer Pump Stations	Renewal 100%	25,000	0	0	0	0	25,000	25,000	0%	0%	On time, on budget	
Asset Renewals - Marulan Sewer Pump Stations	Renewal 100%	20,000	0	0	0	0	20,000	20,000	0%	0%	On time, on budget	
Denmore Hospital PS Power	Renewal 0%	0	2,250	0	10,791	13,041	190,591	177,550	7%	7%	On time, on budget	
Asset Renewals - Goulburn Waste Water Treatment Plant	Renewal 100%	125,000	0	0	94,150	94,150	125,000	30,850	75%	75%	On time, on budget	
Asset Renewals - Marulan Waste Water Treatment Plant	Renewal 100%	25,000	0	0	0	0	25,000	25,000	0%	0%	On time, on budget	
The Avenue Repair Works	Renewal 0%	450,502	0	0	0	0	450,502	450,502	0%	0%	Completed	Work completed. Savings to be transferred to cover STWRIS overspend and remainder to reserves.
Goulburn WWTP Extension	Renewal 0%	14,815,700	31,518	0	101,571	133,089	15,215,700	15,082,611	1%	1%	On time, on budget	Multiyear project
		<b>39,062,795</b>	<b>1,555,906</b>	<b>0</b>	<b>879,266</b>	<b>2,435,173</b>	<b>41,240,026</b>	<b>38,804,853</b>	<b>6%</b>	<b>6%</b>		
<b>Total Capital Program</b>		<b>55,313,176</b>	<b>4,797,634</b>	<b>0</b>	<b>5,042,365</b>	<b>9,839,999</b>	<b>61,025,167</b>	<b>51,185,168</b>	<b>0%</b>	<b>0%</b>		









**Operations Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

List By	Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PJQ1	\$ Variance	% of Time: 53%	% of Budget	Status
	<b>200 - Projects</b>											
190026	Performing Arts Centre (G)	Renewal 0%	0	9	0	0	9	0	-9		0%	Completed
190031	18-22 North Gbn Employment Precinct and Roundabout1	Renewal 0%	4,462,971	1,575,624	0	3,078,069	4,653,692	5,784,539	1,130,847		80%	On time, expected to be overspent
190171	Towrang Road Bridge Replacement	Renewal 100%	0	500	0	0	500	69,434	68,934		1%	Completed
190301	Hockey Redevelopment - New Amenities (G)	Renewal 0%	400,000	986,192	0	250,064	1,236,256	400,000	-836,256		309%	Quarterly review, carryover required
190302	Hockey Redevelopment - Existing Amenities Refurb (G)	Renewal 100%	200,000	155,854	0	77,120	232,973	200,000	-32,973		116%	Quarterly review, carryover required
190307	Wollondilly Walking Track - Cemetery St (G)	Renewal 0%	650,000	513,658	0	191,073	704,731	742,748	38,017		95%	On time, on budget
190315	RHL Mogo Road - Hi Quality S94	Renewal 100%	0	7,704	0	0	7,704	104,231	96,527		7%	Completed
190338	Shared Path - Mulwaree High to Middle Arm (G)	Renewal 0%	0	32,700	0	0	32,700	10,421	-22,279		314%	Quarterly review, carryover required
190340	Upgrade Zebra Crossing - Fitzroy St (G)	Renewal 0%	0	2,140	0	0	2,140	0	-2,140		0%	Completed
190345	Bradfordville School Footpaths (G)	Renewal 0%	0	2,675	0	0	2,675	0	-2,675		0%	Completed
190348	Kinghorne/Albert Roundabout - Blackspot (G)	Renewal 50%	520,339	381,242	0	207,521	588,763	562,542	-26,221		105%	On time, on budget
190349	Jerrara Road Upgrade - Blackspot (G)	Renewal 50%	0	1,840	0	43,151	44,991	146,539	101,548		31%	Late, expected to be on budget
190350	Deccan Street Rehabilitation - FLR (G)	Renewal 100%	329,818	1,523,020	0	117,455	1,640,475	1,273,360	-367,115		129%	Quarterly review, carryover required
190351	BLER - Tallong Village Project - Capital	Renewal 0%	0	2,780	0	0	2,780	0	-2,780		0%	Quarterly review, carryover required
190352	BLER - Tarago Village Projects - Capital	Renewal 0%	0	587	0	0	587	0	-587		0%	Quarterly review, carryover required
190367	Mayfield Road Bridge Replacement	Renewal 100%	2,138,000	13,550	0	18,585	32,135	2,116,078	2,083,943		2%	On time, on budget
190376	North Park Pavillion - LRCI/RSFF (G)	Renewal 0%	0	63,898	0	0	63,898	0	-63,898		0%	Quarterly review, carryover required
190378	Carr Confoy Netball Court Resurfacing - SCCF (G)	Renewal 100%	699,998	11,654	0	1,238,048	1,249,702	692,214	-557,488		181%	Quarterly review, carryover required
190379	Bradley Street Drainage Upgrade Works	Renewal 100%	1,240,000	522,793	0	0	522,793	1,162,519	639,726		45%	Completed
190385	Bourke St Wombat Crossing (G)	Renewal 0%	0	24,269	0	0	24,269	0	-24,269		0%	Completed
190387	Playground - Tony Onions Park - Everyone Can Play (G)	Renewal 10%	0	14,232	0	0	14,232	15,683	1,451		91%	Completed
190390	Cullulla Road Causeway Renewal S 94	Renewal 100%	0	19,519	0	0	19,519	0	-19,519		0%	Quarterly review, carryover required
190391	BMX Track Upgrade	Renewal 100%	0	101,902	0	6,000	107,902	86,452	-21,450		125%	Quarterly review, carryover required
190392	Carr Confoy Pavillion (G)	Renewal 50%	7,350,854	73,498	0	56,501	129,999	7,368,009	7,238,010		2%	Not due to commence
190400	21-22 Jerrara-Oallen Ford Road Rehabilitation	Renewal 100%	0	10,865	0	11,731	22,596	518,563	495,967		4%	Completed
190409	Streets as shared spaces	Renewal 0%	0	27,869	0	0	27,869	16,102	-11,767		173%	Quarterly review, carryover required
190417	Riverside Park Pump Track Project	Renewal 0%	0	27,472	0	19,016	46,488	46,414	-74		100%	Completed
190425	GMC Emergency Operations Centre	Renewal 0%	489,320	63,579	0	3,403,927	3,467,506	489,320	-2,978,186		709%	Quarterly review, carryover required
190426	Goulburn Waterworks - Access Inclusion RTAF	Renewal 50%	0	0	0	0	0	0	0		0%	Completed
190438	Riverside Park Amenities & Park Infrastructure	Renewal 100%	139,575	55,018	0	8,565	63,584	71,565	7,981		89%	Completed
190439	Carr Confoy Netball Courts Lighting Upgrade	Renewal 100%	286,800	170	0	198,396	198,566	286,800	88,234		69%	On time, on budget
190440	22/23 Marulan Soccer Fields Lighting/Drainage Upgrade	Renewal 100%	423,852	13,449	0	199,145	212,594	423,852	211,258		50%	On time, on budget
190447	22/23 Eastgrove Shared Pathway	Renewal 100%	2,015,000	3,399	0	0	3,399	2,050,442	2,047,043		0%	Late, expected to be on budget
190449	22/23 Prell Oval Amenities Block	Renewal 100%	219,776	65,545	0	152,114	217,659	217,111	-548		100%	Late, expected to be on budget



**Operations Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

List By	Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PIQ1	\$ Variance	% of Time: 53%		Status
										% of Budget		
190452	South Goulburn Shared Pathway	Renewal 80%	2,756,900	0	0	0	0	0	0	0%		Not due to commence
190454	Range Rd Causeway	Renewal 100%	636,714	0	0	0	0	0	0	0%		Not due to commence
190459	23/24 Range Rd Causeway Replacement	Renewal 100%	0	34,257	0	1,903	36,160	636,714	600,554	6%		On time, on budget
190470	23/24 Marulan Discretionary Fund Projects	Renewal 100%	0	9,620	0	31,955	41,575	0	-41,575	0%		Quarterly review, carryover required
199902	Future Grant Funded Projects - Project Management	Renewal 0%	1,000,000	0	0	0	0	1,000,000	1,000,000	0%		Quarterly review, carryover required
199982	Tarago Village Projects (Veolia Host Fee)	Renewal 100%	150,000	0	0	0	0	150,000	150,000	0%		Quarterly review, carryover required
			26,109,917	6,343,082	0	9,310,340	15,653,422	26,641,652	10,988,230	59%		
	<b>210 - Operations</b>											
190080	RRBG - Taralga Road - Rural (G)	Renewal 100%	0	11,572	0	0	11,572	0	-11,572	0%		Not due to commence
190101	Gravel Resheeting	Renewal 100%	500,000	515,811	0	99,517	615,328	644,775	29,447	95%		On time, on budget
190103	Guardrails - Sealed Rural - Local	Renewal 100%	160,000	0	0	0	0	160,000	160,000	0%		Not due to commence
190108	RHL Collector Rd - Veolia Sec94	Renewal 100%	300,000	14,003	0	0	14,003	300,000	285,997	5%		Quarterly review, carryover required
190113	Rural Resealing	Renewal 100%	157,584	884	0	0	884	157,584	156,700	1%		Not due to commence
190114	Urban Resealing	Renewal 100%	430,000	0	0	15,586	15,586	430,000	414,414	4%		Not due to commence
190128	St Lighting and Traffic facilities	Renewal 0%	25,000	1,086	0	0	1,086	25,000	23,914	4%		On time, on budget
190144	Light Fleet Replacements	Renewal 0%	720,626	414,303	0	210,442	624,746	720,626	95,880	87%		On time, on budget
190145	Minor Plant Replacements	Renewal 0%	79,498	26,650	0	3,800	30,450	79,498	49,048	38%		On time, on budget
190146	Heavy Fleet Replacements	Renewal 0%	4,695,901	240,237	0	1,762,087	2,002,324	4,695,901	2,693,577	43%		On time, on budget
190172	Footpath Replacement	Renewal 100%	150,000	91,004	0	0	91,004	229,479	138,475	40%		Quarterly review, carryover required
190175	REGIONAL ROAD BLOCK GRANT - Future years (G)	Renewal 100%	425,000	0	0	0	0	425,000	425,000	0%		Quarterly review, carryover required
190197	Hetherington St Depot Workshop Renewal	Renewal 100%	0	0	0	35,196	35,196	0	-35,196	0%		Quarterly review, carryover required
190200	Bus Shelters - New	Renewal 0%	25,000	0	0	0	0	25,000	25,000	0%		Not due to commence
190215	RHL Brayton Rd - Gunlake Sec 94	Renewal 100%	0	139	0	0	139	0	-139	0%		Quarterly review, carryover required
190261	Urban Road Rehabilitation	Renewal 100%	0	0	0	9,240	9,240	0	-9,240	0%		Not due to commence
190263	Gravel Pit Rehab/Improvements	Renewal 50%	20,000	5,028	0	16,095	21,122	20,000	-1,122	106%		On time, on budget
190264	Kerb & Gutter Replacement	Renewal 100%	150,000	11,890	0	768	12,658	159,103	146,445	8%		Not due to commence
190265	Drainage General Rural	Renewal 0%	0	0	0	0	0	94,908	94,908	0%		Not due to commence
190314	SRP Auburn St Pedestrian Safety (G)	Renewal 0%	0	17,422	0	0	17,422	0	-17,422	0%		Quarterly review, carryover required
190330	Windellama Road - Fixing Local Rds (G)	Renewal 90%	0	427,533	0	19,074	446,606	0	-446,606	0%		Quarterly review, carryover required
190370	Village Footpaths - LRCI3 (G)	Renewal 0%	0	93,303	0	26,238	119,541	148,250	28,709	81%		Quarterly review, carryover required
190372	Middle Arm Road Rehabilitation 22/23	Renewal 100%	0	36,632	0	0	36,632	159,976	123,344	23%		Quarterly review, carryover required
190375	Highland Way - RRBG/RRRP 22/23	Renewal 100%	0	50,702	0	0	50,702	0	-50,702	0%		Quarterly review, carryover required
190380	Garroorigang Stormwater Improvements	Renewal 100%	0	220,699	0	0	220,699	227,780	7,081	97%		Completed
190398	Urban Stormwater Drainage Upgrade	Renewal 50%	0	95,656	0	33,474	129,130	0	-129,130	0%		Quarterly review, carryover required
190408	Clinton Street Upgrades (Hume St to Deccan St)	Renewal 100%	0	0	0	0	0	158,182	158,182	0%		Not due to commence
190423	Recreation Area Drainage Improvements	Renewal 10%	0	2,420	0	0	2,420	3,000	580	81%		Completed
190429	RRRP/ s94 Collex Bungendore Rd	Renewal 100%	0	89	0	0	89	0	-89	0%		Not due to commence
190431	Run-o-Waters Second Access	Renewal 0%	2,000,000	0	0	0	0	2,000,000	2,000,000	0%		Quarterly review, carryover required
190433	Currawang Road Rehab	Renewal 100%	0	21,360	0	0	21,360	154,098	132,738	14%		Quarterly review, carryover required
190451	FLR Windellama Rd Rehabilitation Stage 5	Renewal 100%	4,159,500	444,581	0	290,854	735,434	4,159,500	3,424,066	18%		On time, on budget
190455	22/23 CBD/ South Goulburn Connection Pathway	Renewal 0%	0	1,409	0	7,200	8,609	2,756,900	2,748,291	0%		Late, expected to be on budget



**Operations Capital Report by Business Unit for 2023/24**  
for YTD Period Ending December

Date Report Run: 08-Jan-2024

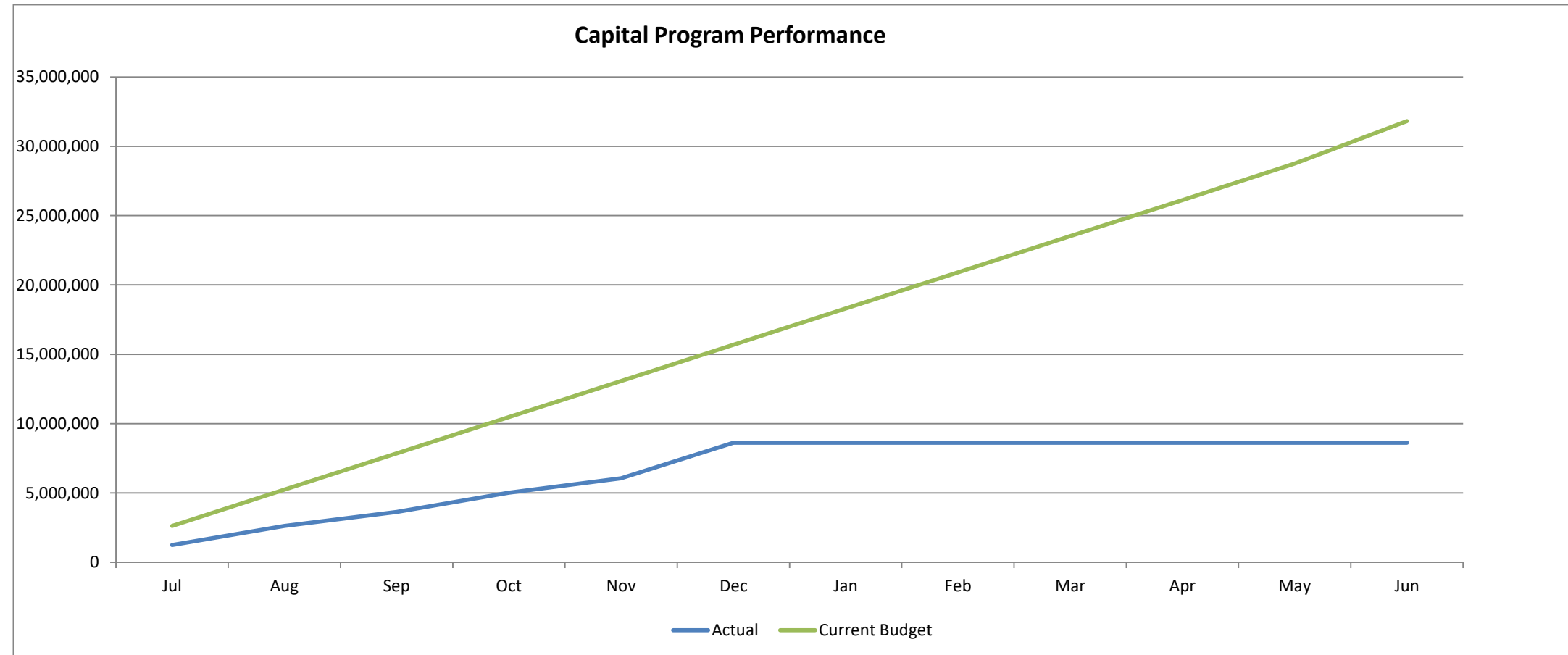
List By	Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PIQ1	\$ Variance	% of Time: 53%		Status
										% of Budget		
190456	Urban Road Rehabilitation - LRCI4	Renewal 100%	273,442	0	0	0	0	273,442	273,442	0%		Not due to commence
190457	Rural Roads Rehabilitation - LRCI4	Renewal 100%	345,000	0	0	0	0	345,000	345,000	0%		Quarterly review, carryover required
190458	23/24 West Goulburn Freight Route-Clinton Street Upgrade	Renewal 10%	0	1,374,302	0	221,590	1,595,891	0	-1,595,891	0%		Quarterly review, carryover required
190468	22/23 Goulburn Mulwaree Pothole Repairs & Heavy Patching	Renewal 40%	0	2,146,283	0	256,910	2,403,193	0	-2,403,193	0%		Quarterly review, carryover required
	<b>220 - Community Facilities</b>		<b>14,616,551</b>	<b>6,264,996</b>	<b>0</b>	<b>3,008,071</b>	<b>9,273,067</b>	<b>18,553,002</b>	<b>9,279,935</b>	<b>50%</b>		
190050	Outdoor/Indoor Ancillary Area Renewals	Renewal 100%	20,000	12,800	0	0	12,800	20,000	7,200	64%		On time, on budget
190051	Plant & Equipment - Aquatic Centre	Renewal 100%	20,000	31,875	0	0	31,875	26,475	-5,400	120%		Quarterly review, carryover required
190053	Recreation Area Improvements	Renewal 100%	25,000	17,983	0	0	17,983	25,000	7,017	72%		On time, on budget
190056	Belmore Park Improvements	Renewal 100%	69,750	6,551	0	10,525	17,076	69,750	52,674	24%		On time, on budget
190060	CBD Asset Renewals	Renewal 100%	33,823	0	0	0	0	33,823	33,823	0%		Not due to commence
190066	Memorial Gardens Beams	Renewal 0%	25,000	0	0	0	0	25,000	25,000	0%		Not due to commence
190068	Building Asset Replacement	Renewal 100%	70,000	18,506	0	0	18,506	70,000	51,494	26%		Quarterly review, carryover required
190069	Civic Centre Furniture & Fittings	Renewal 100%	30,000	9,911	0	0	9,911	30,000	20,089	33%		On time, on budget
190137	Other Parks/Reserves Replacements	Renewal 100%	20,000	77	0	0	77	8,609	8,532	1%		On time, on budget
190140	City Wide Creek Bed Improvements	Renewal 100%	40,000	1,546	0	0	1,546	0	-1,546	0%		Not commenced
190196	Civic Centre Renewal - Air Conditioner	Renewal 100%	140,000	3,200	0	0	3,200	140,000	136,800	2%		On time, on budget
190199	City Entrances	Renewal 100%	20,000	0	0	0	0	20,000	20,000	0%		Not due to commence
190203	Active Recreation Facilities Renewal Future Years	Renewal 100%	50,000	20,190	0	16,101	36,291	58,472	22,181	62%		On time, on budget
190309	Hetherington Street Depot Improvements	Renewal 100%	100,000	0	0	0	0	100,000	100,000	0%		Not due to commence
190312	Copford Reach Improvements	Renewal 0%	200,650	2,325	0	72,165	74,490	198,200	123,710	38%		On time, on budget
190322	Wollondilly Walking Track Amenities Block (G)	Renewal 0%	0	0	0	0	0	195	195	0%		Completed
190360	Cemetery Signage Upgrades	Renewal 0%	10,000	0	0	9,036	9,036	10,000	964	90%		On time, on budget
190366	Marulan Pre-School Asbestos Removal	Renewal 100%	49,050	0	0	0	0	49,050	49,050	0%		Not due to commence
190430	Wollondilly River Rejuvenation Project	Renewal 50%	0	55,250	0	20,578	75,829	87,191	11,362	87%		Quarterly review, carryover required
190441	Bladwell Park Infrastructure Upgrade	Renewal 100%	290,300	15,819	0	145,425	161,245	290,300	129,055	56%		Quarterly review, carryover required
190446	Ross Whitaker Basketball Pavillion Female Facilities Upgrade	Renewal 100%	0	0	0	130,330	130,330	19,601	-110,729	665%		Quarterly review, carryover required
190450	Japanese Garden Enhancement Stage 2	Renewal 50%	700,000	33,366	0	31,335	64,701	717,129	652,428	9%		Late, expected to be on budget
190460	22-25 Eastgrove Sth Sports Field Improved drainage	Renewal 50%	0	1,735	0	0	1,735	500,000	498,265	0%		Quarterly review, carryover required
190464	Carr Confoy Cricket Patches & Practice Fac Refurb	Renewal 100%	0	40,417	0	0	40,417	27,000	-13,417	150%		Quarterly review, carryover required
190466	Gbn Mul High Blackberry Eradication - Equipment Cap	Renewal 0%	0	53,280	0	0	53,280	0	-53,280	0%		Quarterly review, carryover required
	<b>230 - Asset &amp; Design</b>		<b>1,913,573</b>	<b>324,830</b>	<b>0</b>	<b>435,496</b>	<b>760,326</b>	<b>2,525,795</b>	<b>1,765,469</b>	<b>30%</b>		
190032	Survey Equipment	Renewal 100%	10,000	1,070	0	4,310	5,380	10,000	4,620	54%		On time, on budget
			<b>10,000</b>	<b>1,070</b>	<b>0</b>	<b>4,310</b>	<b>5,380</b>	<b>10,000</b>	<b>4,620</b>	<b>54%</b>		
	<b>Total Capital Program</b>		<b>42,650,041</b>	<b>12,933,979</b>	<b>0</b>	<b>12,758,217</b>	<b>25,692,196</b>	<b>47,730,449</b>	<b>22,038,254</b>	<b>0%</b>		



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List By	Description	Renewal %	Original Budget 24PJOB	Actual YTD	PJ Commit	Works Commit	Total Actual YTD	Current Budget 24PIQ1	\$ Variance	% of Time: 53%	% of Budget	Status
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**16.9 STATEMENT OF INVESTMENTS & BANK BALANCES**

**Author:** Business Manager Finance & Customer Service  
 Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. Statement of Investments & Bank Balances  

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Nil
<b>Use of Reserve Funds:</b>	Nil

**RECOMMENDATION**

That the report on the Statement of Investments and Bank Balances be noted.

**BACKGROUND**

To report on the Investment Performance and Bank Balances as at 8 January 2024.

**REPORT**

**1. Monthly Investment Performance Indicators**

Attached are the Investment Performance Indicators which compares Council’s portfolio against the Investment Policies Term Mix and Benchmark Interest Rates Performance indicators. Also attached is Council’s Investment Portfolio. Please note all interest rates and market values quoted in the Investment Portfolio Attachment are based on the latest available data.

Please note there is now one area where Council’s portfolio is outside of policy:

**Benchmark Interest Rate Performance** – with the recent and ongoing increases to the official cash rate, the 90-day BBSW has also increased significantly. There only 2 investments coming in under the benchmark of the 12 month average 90 day BBSW rate which are 2 two-year Term Deposits maturing early in 2024. The weighted average interest rate of our current portfolio is 4.29% which is well above the current benchmark of 3.76%

**2. Statement of Investments and Bank Balances**

The amount of investments and bank balances reported to Council as at the end of November 2023 was \$130,088,234 meaning that this month’s balance of \$128,436,944 equates to a decrease of \$1,651,290 in investments and cash held.

The following table outlines the reasons for this decrease.

<b>Receipts</b>		
Rates & Water Receipts	3,527,883	
Financial Assistance Grant		
Sundry Debtors	549,775	
Grants & Contributions Received	2,553,790	
Loan borrowing received		
Other Income (including interest)	1,829,616	
<b>Total Receipts</b>		<b>8,461,064</b>
<b>Payments</b>		
Salaries and Wages	2,233,335	
Payments to Creditors	7,879,020	
<b>Total Payments</b>		<b>10,112,355</b>
<b>Increase/(Decrease) in Cash &amp; Investments</b>		<b>-1,651,290</b>



Performance Indicators - Investments and Interest Earned - As at 8 January 2024

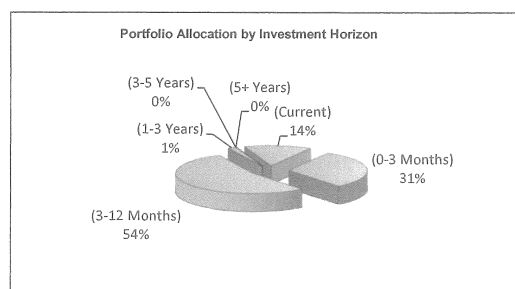
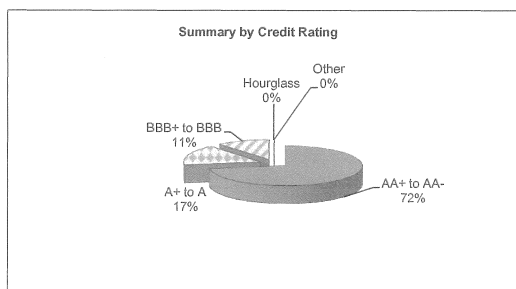
Diversification & Credit Risk							
Rating	Long Term Ratings	Short Term Rating	Long Term	Short Term	Total	Total %	Max
Scale	(Standard & Poors)	(Standard & Poors)	Actual	Actual	Actual	Actual	
1	AA+ to AA-	A1+	0	91,731,268	91,731,268	72.38%	100%
2	A+ to A	A1	0	21,000,000	21,000,000	16.57%	100%
3	BBB+ to BBB	A2	0	14,000,000	14,000,000	11.05%	30%
4	Hourglass		0	0	0	0.00%	0%
5	Other		0	0	0	0.00%	5%
			0	126,731,268	126,731,268	100.00%	
1	Within Policy Guidelines						
2	Within Policy Guidelines						
3	Within Policy Guidelines						
4	Within Policy Guidelines						
5	Within Policy Guidelines						

Portfolio - Term Mix					
		Actual	Actual %	Maximum	
A	At Call	(Current)	17,731,267.83	13.99%	100.00%
B	Working Capital	(0-3 Months)	39,000,000.00	30.77%	90.00%
C	Short Term	(3-12 Months)	68,000,000.00	53.66%	80.00%
D	Medium Term	(1-3 Years)	2,000,000.00	1.58%	30.00%
E	Medium To Long Term	(3-5 Years)	-	0.00%	30.00%
F	Long Term	(5+ Years)	-	0.00%	0.00%
			126,731,268		
A	Within Policy Guidelines				
B	Within Policy Guidelines				
C	Within Policy Guidelines				
D	Within Policy Guidelines				
E	Within Policy Guidelines				
F	Within Policy Guidelines				

Benchmark Interest Rates Performance			
1	<b>Benchmark Rate - Average for 2023/24</b>		
	Benchmark Rate - Average for 2023/2024		3.7615%
	Portfolio Over Benchmark		73,977,500 67.87%
	Portfolio under Benchmark		35,022,500 32.13%
	Total		109,000,000
	Excludes At Call		17,731,268
	Total including At Call		126,731,268
2	<b>Average Benchmark Rate for Financial Year</b>		
	Benchmark - 90 Day BBSW Average for July 2023		4.3064%
	Benchmark - 90 Day BBSW Average for August 2023		4.1616%
	Benchmark - 90 Day BBSW Average for September 2023		4.1301%
	Benchmark - 90 Day BBSW Average for October 2023		4.2015%
	Benchmark - 90 Day BBSW Average for November 2023		4.3824%
	Benchmark - 90 Day BBSW Average for December 2023		4.3605%
	Benchmark - 90 Day BBSW Average for January 2022		3.3161%
	Benchmark - 90 Day BBSW Average for February 2022		3.4591%
	Benchmark - 90 Day BBSW Average for March 2022		3.6643%
	Benchmark - 90 Day BBSW Average for April 2022		3.6672%
	Benchmark - 90 Day BBSW Average for May 2022		3.8897%
	Benchmark - 90 Day BBSW Average for June 2022		1.5993%
	<b>Average Benchmark Rate for Financial Year to Date</b>		<b>3.7615%</b>



## Statement of Investment and Bank Balances as at 8 January 2024

Description	Maturity Date	Investment Type	Rating	Current Interest Rate	Amount Invested
Comm Bank - Cash Management Account		AC	A1+	0.10%	\$ 17,731,268
National Australia Bank 732 Day Term Deposit - Curve Rolled From Inv0790	26/02/2024	TD	A1+	1.70%	\$ 4,000,000
ING Bank Australia 733 Day TD - Curve	19/03/2024	TD	A1	2.02%	\$ 2,000,000
ING Bank of Australia 364 Day TD - Curve	19/01/2024	TD	A1	4.45%	\$ 1,000,000
ING Bank of Australia 365 Day TD - Curve	2/02/2024	TD	A1	4.55%	\$ 2,000,000
Defence Bank 365D TD - Curve	15/02/2024	TD	A2	5.00%	\$ 1,000,000
Commonwealth Bank of Australia 365 Day TD - CBA Rolled from 0796	16/02/2024	TD	A1+	4.90%	\$ 10,000,000
ING Bank Australia 365 Day TD - IAM Rolled from INV0797	22/02/2024	TD	A1	4.95%	\$ 2,000,000
ING Bank of Australia 364 Day TD - Curve	1/03/2024	TD	A1	4.98%	\$ 1,000,000
Commonwealth Bank of Australia 365D TD	6/03/2024	TD	A1+	4.82%	\$ 10,000,000
AMP 365D TD - Curve	15/03/2024	TD	A2	4.75%	\$ 3,000,000
ING Bank of Australia 365 Day TD - Curve	28/03/2024	TD	A1	4.70%	\$ 3,000,000
BankVic 365D TD - Curve	18/04/2024	TD	A2	4.80%	\$ 3,000,000
ING Bank of Australia 365 Day TD - Curve	17/05/2024	TD	A1	4.93%	\$ 3,000,000
Commonwealth Bank of Australia 3654 Day TD - CBA	7/06/2024	TD	A1+	5.40%	\$ 15,000,000
NAB 365 Day TD - NAB 9295 1144	3/06/2024	TD	A1+	5.00%	\$ 10,000,000
Bank of Queensland 364 Day TD - Curve	21/06/2024	TD	A2	5.55%	\$ 2,000,000
Westpac 365 Day TD	27/06/2024	TD	A1+	5.38%	\$ 5,000,000
Commonwealth Bank of Australia 365 Day TD - CBA	28/06/2024	TD	A1+	5.45%	\$ 10,000,000
Heritage and People Choice 365 Day TD - Curve	24/07/2024	TD	A2	5.65%	\$ 3,000,000
Commonwealth Bank of Australia 365 Day TD - CBA	8/08/2024	TD	A1+	5.52%	\$ 5,000,000
ING Bank of Australia 728 Day TD - Curve	25/09/2025	TD	A1	5.35%	\$ 2,000,000
ING Bank of Australia 365 Day TD - IAM	22/10/2024	TD	A1	5.35%	\$ 2,000,000
National Australia Bank 365 Day TD - Curve	15/11/2024	TD	A1+	5.35%	\$ 5,000,000
AMP 366 Day TD - Income AM	11/12/2024	TD	A2	5.40%	\$ 2,000,000
ING Bank of Australia 366 Day TD - IAM	11/12/2024	TD	A1	5.30%	\$ 3,000,000
<b>Total Investments Held</b>				\$	<u>126,731,268</u>

<b>Total Investments Held</b>		\$	126,731,268
Balance as per Passbook-Commonwealth Bank	1,527,894.97		
Add: Outstanding deposits	38,685.35		
Less: Unpresented cheques	30,568.78		
Less: EFTPOS Payments	364,753.64		
<b>Balance as per Cash Book-Commonwealth Bank</b>			<b>1,171,257.90</b>
<b>Add- Trust Fund</b>			<b>534,418.02</b>
<b>Total Cash &amp; Investments @ 8/01/2024</b>			<b>128,436,943.75</b>

**16.10 DEBTORS OUTSTANDING**

**Author:** Revenue Officer - Debtors  
 Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** Nil

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Nil
<b>Use of Reserve Funds:</b>	Not Applicable

**RECOMMENDATION**  
 That the report from the Revenue Officer on Debtor Collections be received.

**BACKGROUND**

The purpose of this report is to advise on the status of debtor collections as at 8 January 2024.

**REPORT**

The following table summarises the debtor balances as at 8 January 2024;

	<b>Amount</b>
Debtor Outstanding at 01/07/2023	\$1,429,039.12
Invoices Raised 2023/2024	\$7,916,127.05
<b>Total Collectable (A)</b>	<b>\$9,345,166.17</b>
Less Debtors Collected	-\$7,275,540.40
<b>Total Amount Outstanding</b>	<b>\$2,069,625.77</b>
Less Amount Not Yet Due	-\$185,370.75
Total Overdue Amount (B)	\$1,884,255.02
Debtors Outstanding Percentage (B/A)	20%

Analysis of the outstanding debts show:

Not Yet Due	\$185,370.75	8.96%
Overdue > 30 Days	\$285,136.77	13.78%
Overdue > 60 Days	\$11,636.50	0.56%
Overdue > 90 Days	\$1,587,481.75	76.70%
<b>Total Amount Outstanding</b>	<b>\$2,069,625.77</b>	<b>100%</b>

**Overdue Debtors >\$5,000**

Debtor Number	Balance	Balance_90	Balance_60	Balance_30	Comment
3000347	\$18,125.80	\$18,125.80	\$0	\$0	This debtor will be discussed by the Executive discussion in the coming weeks.
3003829	\$205,357.39	\$205,357.39	\$0	\$0	Grant Growing Local Economies RNSW 1937 – North East Enterprise Corridor Precinct Enhancement Project Claim 8. Payment is expected by the end of March 2024 if not sooner.
3004002	\$207,372.00	\$207,372.00	\$0	\$0	North Park Sports Pavilion Upgrade Milestone 3 & 4. This invoice is being cancelled and replaced with a new invoice of \$147,360.41 due to the project coming in under budget.
3004419	\$928,888.87	\$864,661.18	\$0	\$64,227.69	Council staff are in conversation with the company to finalise this matter.
3005512	\$16,500.00	\$16,500.00	\$0	\$0	BMX Track last instalment. Email has been sent chasing up the final payment. Awaiting reply.
3005916	\$209,201.00	\$187,201.00	\$0	\$22,000.00	Grant funding - Email has been sent chasing up the payment. Acknowledgement reply received. They are following up payment and expect to get back to Council by the end of the week.
3005943	\$25,653.61	\$25,653.61	0.00	0.00	Company has advised this will be paid, however they are claiming this through their insurance. Many further phone calls and emails have been made/sent, still awaiting payment. Letter from Outstanding Collections sent, still awaiting finalisation. Several more emails sent and a reply received, still awaiting finalisation.
3006745	\$26,586.40	\$26,586.40	0.00	0.00	Finalisation of this matter is now likely to be held up until the end of March due to the customer being overseas.

**16.11 RATES OUTSTANDING REPORT**

**Author:** Revenue Coordinator  
**Director Corporate & Community Services**  
**Authoriser:** Aaron Johansson, Chief Executive Officer  
**Attachments:** Nil

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Outstanding rates continue to accrue interest at a rate of 5% above the rate at which Council could invest its money. Rates outstanding remain a charge on the land and are always collectable.
<b>Use of Reserve Funds:</b>	Not Applicable

**RECOMMENDATION**  
 That the report from the Revenue Coordinator on Rates Outstanding be received.

**BACKGROUND**

The purpose of this report is to advise on the status of rates collections as at 9 January 2024.

**REPORT**

The following table summarises rates transactions and collections processed up to 9 January 2024.

	<b>Amount</b>
Rates and Charges Outstanding at 1 July 2023	-144,965.65
Levies and Write Offs	\$29,294,213.19
Total Collectable	\$29,149,247.54
Rates and Charges Collected	-\$17,563,197.12
Pre payments	\$391,148.19
Amount Outstanding	\$11,977,198.61
Percentage of Rates and Charges Outstanding	<b>41%</b>

The percentage recorded here shows that the rates are being collected in line with expectations. The outstanding rates currently stand at 41% which indicates the outstanding debt percentage remains comparable to this time last financial year.

Analysis of the outstanding debts shows there are a total of 689 properties with an outstanding debt of more than \$500. Council posted 532 Letters of Demand on 14 December 2023 for all properties with arrears that had not contacted Council to enter into suitable payment arrangements.

It should be noted a considerable number of ratepayers have entered into repayment arrangements in accordance with Council’s Policy.

Overdue amounts are further dissected below:

Debt Range	No of Properties	Total Debt for Range	Average Debt
\$150-\$499	689	\$233,274	\$338
\$500-\$2,000	381	\$323,771	\$849
\$2,001-\$5,000	67	\$208,835	\$3,116
Above \$5,000	28	\$334,865	\$11,959

**OUTSTANDING BALANCES >\$5,000**

Property No.	Balance	Action Taken
1022455	\$5,084.91	Current debt recovery
1000825	\$5,258.62	Current debt recovery
1008636	\$5,266.43	N/A - Postponed rates
1005354	\$5,281.08	N/A - Postponed rates
1016870	\$5,407.86	Current debt recovery
1024133	\$6,094.06	Payment arrangement
1020821	\$6,494.15	2 <sup>nd</sup> instalment outstanding
1021189	\$6,553.29	Current debt recovery
1021400	\$6,911.96	Current debt recovery
1020005	\$7,363.55	Current debt recovery - Liquidation
1020006	\$7,363.55	Current debt recovery - Liquidation
1020007	\$7,363.55	Current debt recovery - Liquidation
1020008	\$7,363.55	Current debt recovery - Liquidation
1004192	\$7,371.44	N/A – Postponed rates
1020822	\$7,587.15	2 <sup>nd</sup> instalment outstanding
1007833	\$7,693.43	Current debt recovery
1003523	\$8,087.75	Current debt recovery
1020851	\$8,195.92	Current debt recovery
1001810	\$9,490.26	N/A – Postponed rates
1002524	\$10,603.04	Current debt recovery
1020824	\$11,417.86	Current debt recovery
1020004	\$12,273.24	Current debt recovery - Liquidation
1020819	\$12,277.45	2 <sup>nd</sup> instalment outstanding
1020840	\$19,328.30	2 <sup>nd</sup> instalment outstanding
1002184	\$20,025.33	Current debt recovery
1020327	\$24,999.86	2 <sup>nd</sup> instalment outstanding



1010110	\$30,576.80	Current debt recovery
1004839	\$63,131.07	Current debt recovery - Investigating rating category
	<b>\$334,865.46</b>	

**16.12 WATER CHARGES OUTSTANDING REPORT**

**Author:** Administration Team Leader  
 Director Utilities  
**Authoriser:** Aaron Johansson, Chief Executive Officer  
**Attachments:** Nil

<b>Link to Community Strategic Plan:</b>	25. Our Civic Leadership CL1 Effect resourceful and respectful leadership and attentive representation of the community.
<b>Cost to Council:</b>	Outstanding water charges accrue interest at a rate some 5% above the rate at which Council could invest its cash. Outstanding water charges remain a charge on the land and are always collectable.
<b>Use of Reserve Funds:</b>	Not Applicable

**RECOMMENDATION**  
 That the report from the Administration Team Leader on Water Outstanding be received.

**BACKGROUND**

The purpose of this report is to advise on the status of water charges collections as of 8 January 2024.

**REPORT**

The following table summarises the water transactions and collections processed up to 8 January 2024:

	Amount
Outstanding Water Balance as at 1 July 2023 (1)	\$ 461,117.48
Water Charges Raised this financial year to 8/1//24 (2)	\$ 11,715,665.72
Current Total Water Charges collectable (1+2) (3)	\$ 12,176,783.20
Total Water Charges paid from 1 July 2023 (4)	\$ 11,999,778.93
Total Amount Outstanding (3-4) (5)	\$ 177,004.27
Less current charges not yet due (monthly accounts not yet paid)	\$ 0.00
Credit Balance (money paid in advance)	\$ 667,965.90
Total Overdue Amount	\$ 844,970.17
Percentage of Water balance outstanding	6.94%

An analysis of the outstanding debts greater than \$100 shows that there are a total of 1,178 properties with a total accumulated balance of \$841,208.18.

Debt Range	No of Properties	Total Debt for Range	Average Debt
\$100-\$200	139	\$ 21,034.94	\$ 151.33
\$200-\$500	724	\$ 245,933.38	\$ 339.69
Above \$500	315	\$ 574,239.86	\$ 1,822.98

Please note the following:

The Quarterly accounts were due on 8 December 2023 and the overdue notices were sent on 21 December 2023. Monthly accounts were due on 29 December 2023.

The overall statistics as of 8 January 2024 for water account actions:

	Number	Outstanding balance
Restrictors in place	28	\$ 109,685.22
Legal Action Started	0	\$ 0.00
Disconnections	1	\$ 8,441.42
Receivership/bankrupt	1	\$ 1,373.94
Deceased Estates	2	\$ 982.38

**16.13 GRANTS UPDATE**

**Author:** Senior Grants Officer  
 Director Corporate & Community Services

**Authoriser:** Aaron Johansson, Chief Executive Officer

**Attachments:** 1. Grants Council Report 1 October 2023 to 31 December 2023.pdf [↓](#)  


<b>Link to Community Strategic Plan:</b>	28. Our Civic Leadership CL4 Actively investigate and communicate funding sources and collaboration opportunities that can strengthen the region.
<b>Cost to Council:</b>	Income generated as noted below.
<b>Use of Reserve Funds:</b>	Nil

**RECOMMENDATION**

That the report on the grants update from the Senior Grants Officer and the Director of Corporate and Community Services be received and noted.

**BACKGROUND**

This report provides an update on grant activities from 1 October 2023 and 31 December 2023.

**REPORT**

A copy of the grant update report is attached for information.



Quarterly Grant Report 1 October 2023 to 31 December 2023

**Successful Grants**

Grant Project Name	Grant Program	Grant Source	Notification Date	Grant Amount Approved
Rocky Hill War Memorial Virtual Tour Guide	Volunteer Museum Grants - 2023 Project Development Grants	Operational State	18/10/2023	\$ 5,940
Australia Day 2024	National Australia Day Council	Operational Commonwealth	10/10/2023	\$ 15,000
Currawang Road Upgrade	NSW Government Election Commitment	Capital State	20/12/2023	\$ 3,000,000
Summer and Autumn School Holiday Break Activities	Youth Summer and Autumn Break	Operational State	1/12/2023	\$ 22,000
Goulburn Overland Flooding Risk Study & Management Plan	Floodplain Management Program	Capital State	7/11/2023	\$ 99,999
Drought Resilience Project	Regional Drought Resilience Planning Program Round 2	Operational State	21/11/2023	\$ 200,000
Currawang Causeway Betterment	Infrastructure Betterment Fund	Capital State	1/10/2023	\$ 3,443,054
October 2022 Storm Damage	AGRN 1034 Natural Disaster Funding	Capital State	30/10/2023	\$ 3,169,710
				<b>\$ 9,955,703</b>

**Unsuccessful Grants**

Grant Project Name	Grant Program	Grant Source	Notification Date	Grant Amount Requested
Mighty Playwrights	Arts & Cultural Funding - CREATE NSW	Operational State	14/12/2023	\$ 29,000
				<b>\$ 29,000</b>

**Grants Awaiting Notification**

Grant Project Name	Grant Program	Grant Source	Expected Notification Date	Grant Amount Requested
Copford Reach Boat Ramp Upgrade Project	Boating Now Program	Capital State	30/11/2022	\$ 256,788
Mighty Playwrights	Ansvar Insurance community education Program	Not Applicable	1/05/2023	\$ 22,000
Auburn Street Activation Precinct	EOI - Business Improvement District Pilot Program	Operational Commonwealth	31/07/2023	\$ 100,000
Arts Access Workshops	IMB Bank Community Foundation	Not Applicable	16/08/2023	\$ 10,674
Mighty Playwrights 2023	Children and Young People Wellbeing Recovery Initiative - Small Grants	Operational State	30/09/2023	\$ 10,000
Youth Mentoring Kokoda Trek 2023	Children & Young People Wellbeing Recovery Initiative	Operational State	30/09/2023	\$ 50,000
Lansdowne Street Rehabilitation	Heavy Vehicle Safety and Productivity Program	Capital Commonwealth	15/12/2023	\$ 975,446
Bus Stops Hume, Lambert, Dalley Middle Arm	Country Passenger Transport Infrastructure Grants Scheme 23-24	Operational State	31/12/2023	\$ 80,000



Quarterly Grant Report 1 October 2023 to 31 December 2023

Grant Project Name	Grant Program	Grant Source	Expected Notification Date	Grant Amount Requested
Renovation fo the Rocky Hill Museum Toilets	Community Building Partnership Program	Capital State	1/01/2024	\$ 44,530
Glynmar Causeway Reconstruction	Bridges Renewal	Capital Commonwealth	10/01/2024	\$ 1,027,000
Currawang Road Upgrade Project	Bridges Renewal Program	Capital Commonwealth	11/01/2024	\$ 4,024,739
Weed clearing Cookbundoon, Marulan Soccer fields, Woodland Resrve, Goulburn Rec Area	Crown Reserves Improvement Fund	Operational State	28/02/2024	\$ 30,862
CBD Marketing Testing Study	Regional Housing Strategic Planning Fund	Operational State	29/02/2024	\$ 64,950
Goulburn Regional Hockey Centre Redevelopment (Stage 2) Project	Growing Regions Fund Stage 1	Capital State	1/04/2024	\$ 1,097,845
Goulburn East Primary School Raised Crossing Project	Get NSW Active	Capital State	17/04/2024	\$ 280,902
Mulwaree High School Pedestrain Crossing Project	Get NSW Active	Capital State	17/04/2024	\$ 405,542
Marulan Primary School Raised Crossing Project	Get NSW Active	Capital State	17/04/2024	\$ 307,148
Marsden Weir Pedestrian Access Project	Get NSW Active	Capital State	17/04/2024	\$ 295,956
				<b>\$ 9,084,381</b>

Grants In Progress

Grant Project Name	Grant Program	Grant Source	Due Date	Grant Amount Requested
Carr Confoy Pavilion	Regional Precincts and Partnership Program	Capital State	1/05/2024	TBA
Belmore Park EV Charging Stations	EV Destination Charging Grant	Capital State	3/05/2024	TBA
Youth Week 2024	Youth Week 2024	Operational State	29/02/2024	TBA
Improving River Conditions in Goulburn	Urban Rivers and Catchments	Operational Commonwealth	13/02/2024	TBA

Multiple efforts have been made to contact grant bodies where the application was over 12 months old. Projects, like the Mighty Playwrights 2023 and Youth Mentoring Kokoda Trek 2023, where the project has already taken place, will not be shown on the next report. On the 28th September 2023 we were advised by Transport for NSW that applications for grants in the unfunded Round 4 of Boating Now will be considered post-completion of the Boating Now review.

**16.14 MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD ON 7 DECEMBER 2023****Author:** Director Operations**Authoriser:** Aaron Johansson, Chief Executive Officer**Attachments:** 1. Minutes of the Traffic Committee Meeting held on 7 December 2023**RECOMMENDATION**

That

1. The report from Director Operations regarding the Traffic Committee minutes from Thursday 7 December 2023 be received.
2. The Traffic Committee minutes from Thursday 7 December 2023 be confirmed.
3. The report from the Road Safety and Traffic Officer on the Ongoing Task List be received and the information noted. Items marked as completed will be removed from the task list.
4. The report on the programs and activities of the Road Safety and Traffic Officer for August to October to November 2023 be received and noted.
5. The Traffic Committee Meeting Dates for 2024 be received and noted.
6. The report about the parking permit scheme at the Goulburn Base Hospital precinct be received and endorsed.
7. The Traffic Guidance Scheme for Remembrance Day at Rocky Hill 2023 be noted.
8. The report on the Local Traffic Committee – Policies, Procedure and Membership be received and endorsed.
9. The report on the Goulburn Cycle Club's submission to use public roads be received and noted.

**REPORT**

The purpose of this report is to advise Council and seek support of the considerations and recommendations of the Local Traffic Committee (LTC).

Please find attached the minutes of the LTC from its meeting 07 December 2023.





**OUR VISION & VALUES** ONE TEAM DELIVERING WITH

**PRIDE**

Passion | Respect | Innovation | Dedication | Excellence

**OUR MISSION** TO BE EASY TO DO BUSINESS WITH

# MINUTES

## Traffic Committee Meeting

**7 December 2023**

**Order Of Business**

<b>1</b>	<b>Apologies .....</b>	<b>4</b>
<b>2</b>	<b>Late Items / Urgent Business .....</b>	<b>4</b>
<b>3</b>	<b>Disclosure of Interests .....</b>	<b>4</b>
<b>4</b>	<b>Confirmation of Minutes.....</b>	<b>4</b>
	4.1 Minutes of the Traffic Committee Meeting held on 5 October 2023 .....	4
<b>5</b>	<b>Items for Consideration.....</b>	<b>5</b>
	5.1 Ongoing Task List .....	5
	5.2 Road Safety And Traffic Officer's Report October - November 2023 .....	5
	5.3 Traffic Committee Meeting Dates For 2024 .....	6
	5.4 Parking Permit Scheme At Goulburn Base Hospital .....	6
	5.5 Traffic Guidance Scheme For Remembrance Day 2023 .....	6
	5.6 Local Traffic Committee - Policies, Procedures and Membership .....	7
	5.7 Goulburn Cycle Club Submission To Use Public Roads .....	7
<b>6</b>	<b>General Business.....</b>	<b>7</b>
	6.1 General Business.....	7

**MINUTES OF GOULBURN MULWAREE COUNCIL  
TRAFFIC COMMITTEE MEETING  
HELD AT THE HETHERINGTON STREET WORKS DEPOT, WINDELLAMA ROOM  
ON THURSDAY, 7 DECEMBER 2023 AT 9:00AM**

**PRESENT:** Cr Andrew Banfield, Mrs Tracey Norberg - Road Safety Officer GMC, Cr Steven Ruddell, Ms Annette Perram – TfNSW and Mr Blair Oliver, and Senior Constable Hayley Upton – NSW Police

**IN ATTENDANCE:**

Mr George Angelis – Director Operations GMC, Mr Justin Wakefield – ABM Technical Services GMC, Mrs Tash Woods EA Operations GMC and Mrs Kiran Mishra – Administration Officer GMC (Minutes)

**1 APOLOGIES**

**COMMITTEE RESOLUTION 2023/46**

**Moved:** Cr Andrew Banfield

**Seconded:** Cr Steven Ruddell

**That the apology received from Mrs Stacey Scott – PBC Bus Company and Inspector in Charge Matthew Hinton – NSW Police be accepted and leave of absence granted.**

**CARRIED**

**2 LATE ITEMS / URGENT BUSINESS**

Nil

**3 DISCLOSURE OF INTERESTS**

Nil

**4 CONFIRMATION OF MINUTES**

**4.1 MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD ON 5 OCTOBER 2023**

**COMMITTEE RESOLUTION 2023/47**

**Moved:** Ms Annette Perram

**Seconded:** Cr Andrew Banfield

**That the Traffic Committee minutes from Thursday 5 October 2023 be confirmed.**

**CARRIED**

## 5 ITEMS FOR CONSIDERATION

### 5.1 ONGOING TASK LIST

#### COMMITTEE RESOLUTION 2023/48

Moved: Cr Andrew Banfield

Seconded: Ms Annette Perram

That

1. The report from the Road Safety and Traffic Officer on the Ongoing Task List be received and the information noted.
2. Items marked as completed will be removed from the task list.

Responsible Officer	Task	Report by/Status
Road Safety and Traffic Officer	Investigate reduction of speed limit to 50k from 60k at Braidwood Road at Tarago and Lake Bathurst alongwith intersection treatment at Wallace Street and Braidwood Road.	1 December 2023 Completed
Road Safety and Traffic Officer	Renew line marking at the intersection of Braidwood Road, Wallace Street and Lumley Road.	1 Decemeber 2023 Completed
Road Safety and Traffic Officer	Investigate feasibility of reducing parking to 1 hour from current 2 hour time and change the parking to a 45 degree angle on Clinton Street, adjacent to Quest Apartments	Q3 FY24
Road Safety and Traffic Officer	To arrange arrow signs in both directions on Sloane Street, south of Finlay Road	1 December 2023 Completed
Road Safety and Traffic Officer	Investigate the installation of an additional 40km sign at College Street between Addison and Clinton Streets.	1 December 2023 Completed

**CARRIED**

### 5.2 ROAD SAFETY AND TRAFFIC OFFICER'S REPORT OCTOBER - NOVEMBER 2023

#### COMMITTEE RESOLUTION 2023/49

Moved: Sr Constable Hayley Upton

Seconded: Cr Andrew Banfield

That the report on the programs and activities of the Road Safety and Traffic Officer for August to September 2023 be received and noted.

**CARRIED**

**5.3 TRAFFIC COMMITTEE MEETING DATES FOR 2024****COMMITTEE RESOLUTION 2023/50****Moved: Ms Annette Perram****Seconded: Sr Constable Hayley Upton****That**

- 1. The report from Business Manager Technical Services on Traffic Committee Meeting dates for 2024 be received and noted.**
- 2. The following dates for 2024 be allocated for meetings of the Traffic Committee:**
  - Thursday, 25 January 2024 at 9:00 am**
  - Thursday, 21 March 2024 at 9:00 am**
  - Thursday, 23 May 2024 at 9:00 am**
  - Thursday, 25 July 2024 at 9:00 am**
  - Thursday, 19 September 2024 at 9:00 am**
  - Thursday, 21 November 2024 at 9:00 am**

**CARRIED****5.4 PARKING PERMIT SCHEME AT GOULBURN BASE HOSPITAL****COMMITTEE RESOLUTION 2023/51****Moved: Cr Andrew Banfield****Seconded: Ms Annette Perram****That**

- 1. The report requesting community consultation for the removal of the parking permit scheme at the Goulburn Base Hospital precinct be received and endorsed.**
- 2. The community consultation take place on the removal of the current parking permit scheme for the Goulburn Base hospital precinct be approved and is to remain in place until a decision is made following consultation.**

**CARRIED****5.5 TRAFFIC GUIDANCE SCHEME FOR REMEMBRANCE DAY 2023****COMMITTEE RESOLUTION 2023/52****Moved: Cr Andrew Banfield****Seconded: Cr Annette Perram****That the Traffic Guidance Scheme for Remembrance Day at Rocky Hill 2023 be noted.****CARRIED**

## 5.6 LOCAL TRAFFIC COMMITTEE - POLICIES, PROCEDURES AND MEMBERSHIP

### Committee Resolution 2023/53

Moved: Cr Andrew Banfield

Seconded: Ms Annette Perram

That

1. The report from the Director Operations on the Local Traffic Committee – Policies, Procedure and Membership be received and endorsed.
2. The Policies and Procedures of the Local Traffic Committee, as contained in Attachment A to the subject report, be received and;
3. The information (non-voting) representatives to the Local Traffic Committee, as outlined in the subject report, be received and endorsed.
4. Presentation from TfNSW on Local Traffic Committee – A guide to role and function received and noted

Carried

## 5.7 GOULBURN CYCLE CLUB SUBMISSION TO USE PUBLIC ROADS

### COMMITTEE RESOLUTION 2023/54

Moved: Cr Andrew Banfield

Seconded: Ms Annette Perram

That

3. The report from the Road Safety and Traffic Officer on the Goulburn Cycle Club's submission to use public roads for club events as part of the 2024 winter season and the 2024/25 summer season be received and noted.
4. Items raised for consideration as per task list be finalised and presented to Traffic Committee via email.

CARRIED

## 6 GENERAL BUSINESS

### 6.1 GENERAL BUSINESS

The following items have been raised in general business:

#### Cr Ruddell

- Requested the placement of the speed trailer at Mary Street.
- Requested NSW Police Force to enforce speed between Mary Street and Ridge Street.

#### Sr Constable Upton

- Raised the issue of drivers driving between lines at the roundabouts to avoid going over the speed cushions.

## 7 TASK LIST

### 7.1 TASK LIST

The following task list includes ongoing tasks from past meetings and new tasks from the current meeting.

Responsible Officer	Task	Report by/Status
Road Safety and Traffic Officer	Add Traffic Control Plan for Currawang Road on Appendix 1 for the submission from the Goulburn Cycle Club.	25 January 2024
Road Safety and Traffic Officer	Rectify the error in speed on the Traffic Control Plan for the Gunning turn (Cullerin Road) to reflect speed as 60kms from current 70kms to the above submission.	25 January 2024
Road Safety and Traffic Officer	Inclusion of Emergency Management Plan including Bushfire Management to the above submission.	25 January 2024

**The Meeting closed at 9:52am.**

**The minutes of this meeting were confirmed at the Traffic Committee Meeting held on .**

.....  
**CHAIRPERSON**



**17 CLOSED SESSION**

Council must resolve to move into Closed Session to deal with any items under s10 *Local Government Act 1993*.

There were no closed session reports for determination.

**18 CONCLUSION OF THE MEETING**

The Mayor will close the meeting.